

REGISTERED ARCHITECT'S CERTIFICATE

STATE OF HAWAII)
) ss.
CITY AND COUNTY OF HONOLULU)

The undersigned, **JOHN L. SHAW** states as follows:

That he is an architect registered with the State of Hawaii, Hawaii Registration No. A-5701;

That the floor and elevation plans of single family detached buildings and multi-family attached buildings in the **Ka'ulu by Gentry I** condominium project depict the layout, location, unit numbers and dimensions of the condominium units comprising said buildings and are hereby certified to be consistent with the plans of the condominium's buildings to be filed with the officer of the City and County of Honolulu having jurisdiction over the issuance of permits for the construction of buildings; and

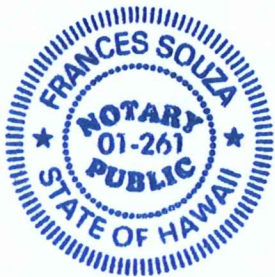
That, including the site plan, there are a total of twenty-seven (27) sheets which constitute the condominium map for **Ka'ulu by Gentry I**.




JOHN L. SHAW

STATE OF HAWAII)
) SS.
CITY AND COUNTY OF HONOLULU)

On July 21, 2023, before me appeared **JOHN L. SHAW**, to me personally known, who, being by me duly sworn or affirmed, did say that such person executed the foregoing instrument as the free act and deed of such person and if applicable in the capacity shown, having been duly authorized to execute such instrument in such capacity.





Notary Public, State of Hawaii
Printed Name of Notary: Frances Souza
My commission expires: November 20, 2024

Doc Dated: Undated # Pages: 1

Name: Frances Souza First Circuit

Doc. Description: Registered Architect's Certificate

My Commission Expires: November 20, 2024

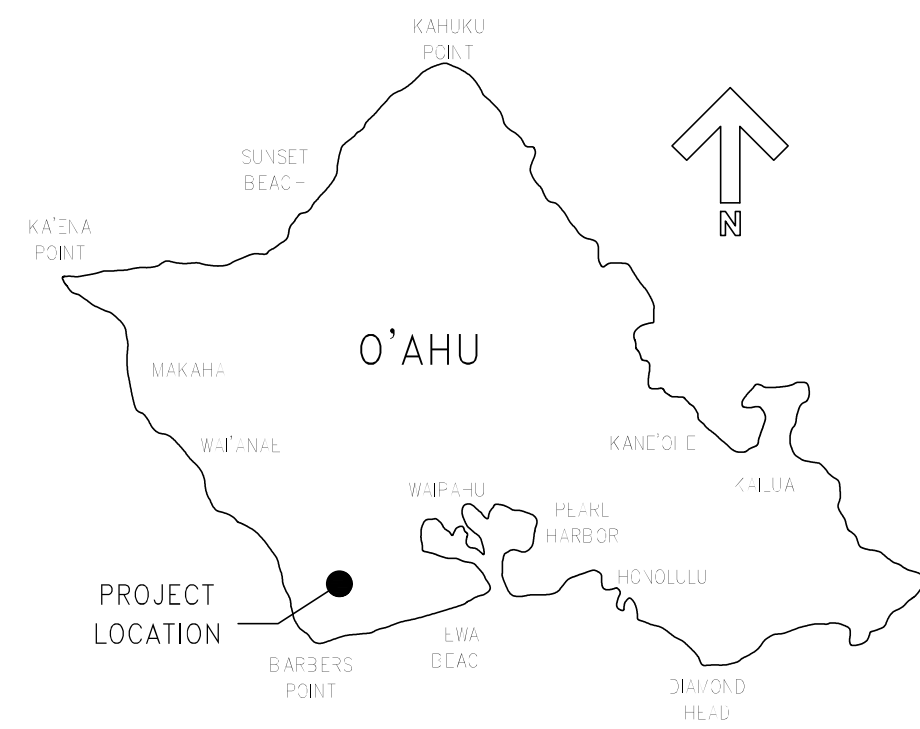




Signature Date
July 21, 2023

NOTARY CERTIFICATION

KA'ULU BY GENTRY I
 KALAELOA, PARCEL 1, INCREMENT 1
 91-1101 FRANKLIN D. ROOSEVELT AVENUE,
 KAPOLEI, HAWAII 96707
 TMK: 9-1-013: 197

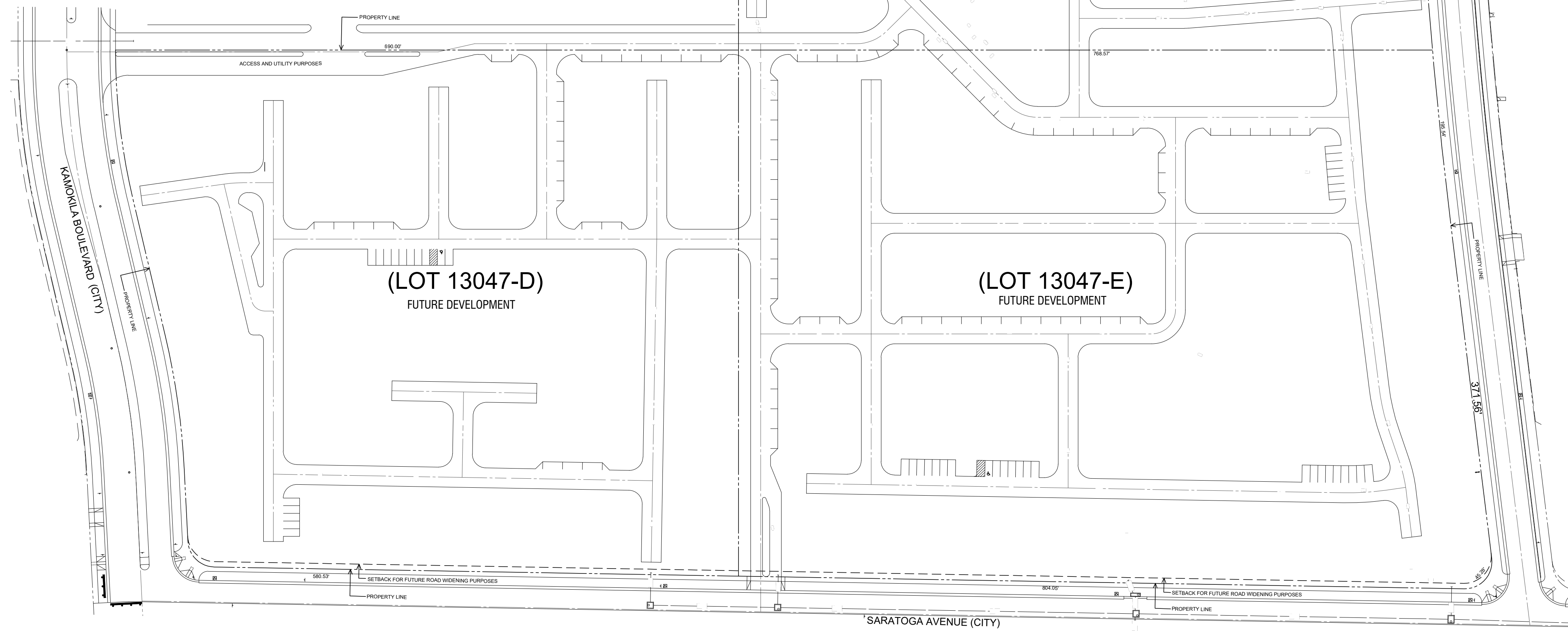


C
T1 VICINITY MAP
 NOT TO SCALE



B
T1 LOCATION MAP
 NOT TO SCALE

VA CENTER
 (NOT PART OF KA'ULU BY GENTRY)



A
T-1

OVERALL SITE/ KEY PLAN
 SCALE: 1"=80' (24"x36" SHEET)



THESE DRAWINGS AND ACCOMPANYING SPECIFICATIONS ARE THE PROPERTY OF GENTRY KALAELOA, LLC. NO PART OF THIS PUBLICATION SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GENTRY KALAELOA, LLC. THIS PERMISSION IS GRANTED ONLY FOR THE LIMITED PURPOSES OF REVIEWING THE DRAWINGS FOR THE PROJECT AND NOT FOR ANY OTHER PURPOSE. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THESE DRAWINGS IS STRICTLY PROHIBITED EXCEPT BY WRITTEN PERMISSION OF GENTRY KALAELOA, LLC. THE ARCHITECT SHALL REMAIN WITH THE ARCHITECT WITHOUT PREJUDICE TO THE ARCHITECT'S OBLIGATIONS TO THE CLIENT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT INCLUDE THE DESIGN OF STRUCTURES OR THE CONSTRUCTION OF THE SAME. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT INCLUDE THE DESIGN OF STRUCTURES OR THE CONSTRUCTION OF THE SAME. DATE: 04/30/24

GENTRY KALAELOA, LLC
 1755 KALAELOA CENTER DRIVE, SUITE 1000
 KALAELOA, HAWAII 96703
 (808) 261-1000

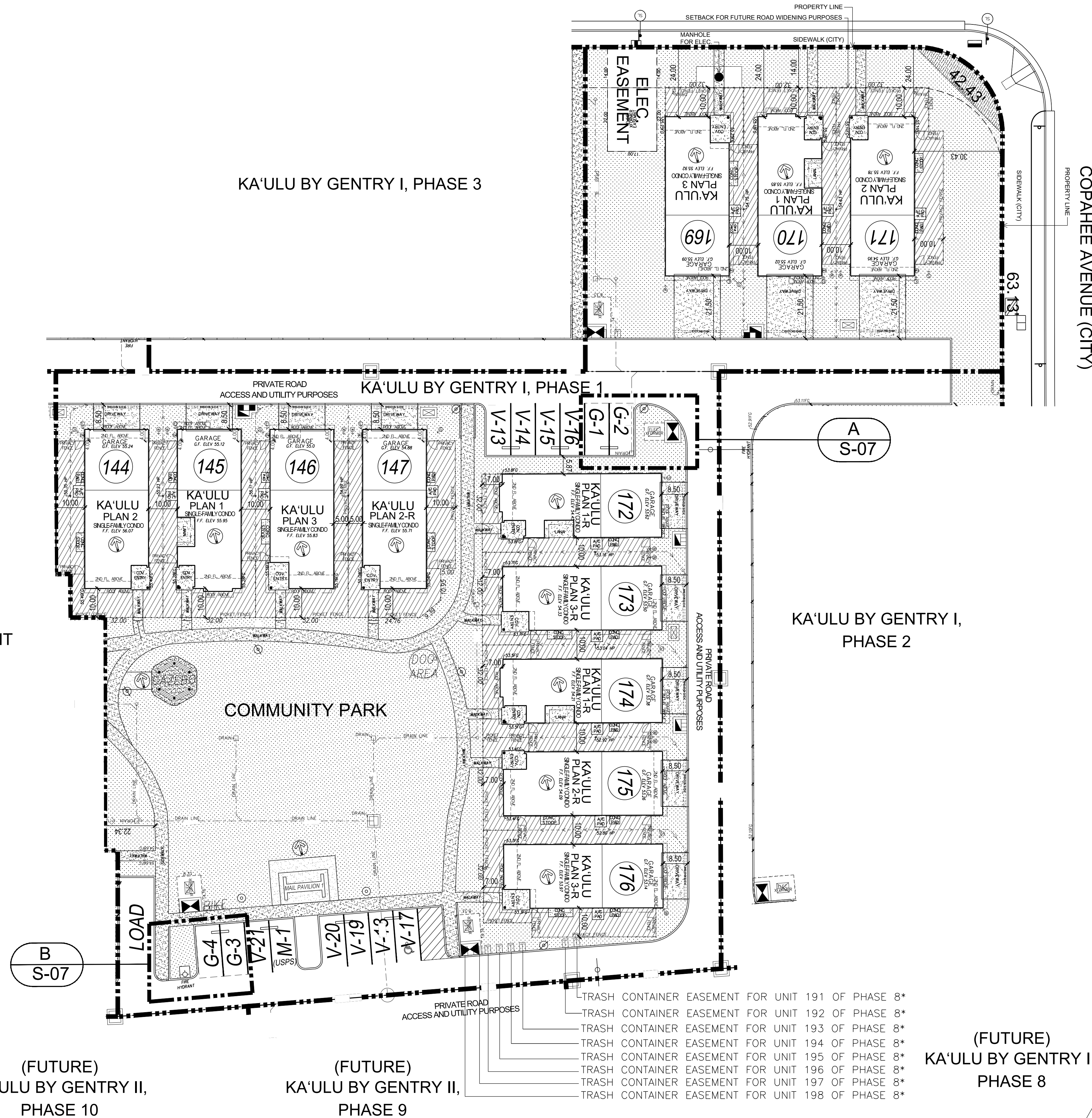
KA'ULU BY GENTRY
 BUILDING CPR SET
GENTRY KALAELOA, LLC
 HONOLULU, HAWAII

DRAWN BY: JM
 CHECKED BY: RST JS
 TRACK NO:
 ISSUE DATE: 03/20/2023
 REVISIONS:

CHAPTER:
 SHEET TITLE:
KA'ULU BY GENTRY I
 OVERALL SITE/KEY PLAN
 LOCATION MAP
 VICINITY MAP
 SHEET NUMBER:

KA'ULU BY GENTRY I
 KALAELOA, PARCEL 1, INCREMENT 1
 91-1101 FRANKLIN D. ROOSEVELT AVENUE,
 KAPOLEI, HAWAII 96707
 TMK: 9-1-013: 197

FRANKLIN D. ROOSEVELT AVENUE (CITY)



LEGEND:

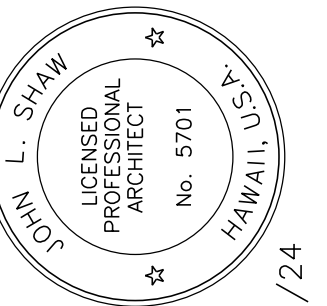
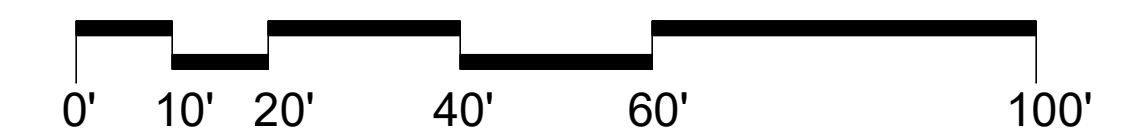
- APPROX. LIMIT OF PRIVATE YARD AREA (LIMITED COMMON ELEMENT)
- APPROXIMATE LIMIT OF ASSOCIATION LANDSCAPING (COMMON ELEMENT)
- APPROXIMATE LOCATION OF CONC. DRIVEWAY, WALKWAY, & PARKING (LIMITED COMMON ELEMENT)
- ALL PARKING SPACES ARE STANDARD

- APPROX. ELECTRICAL LINE LOCATION
- APPROX. SEWER LINE LOCATION
- APPROX. WATER LINE LOCATION
- APPROX. ELECT. METER LOCATION
- APPROX. LOCATION OF STREET LIGHT
- AIR CONDITIONING PAD
- TRASH/RECYCLE BIN LOCATION
- DRAIN
- UTILITIES
- MANHOLE FOR ELECTRICAL EASEMENT

NOTES:

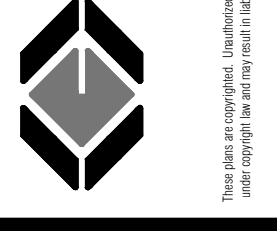
- WALKWAYS, DRIVEWAYS, OPT. PARKING, AND FENCED YARD SIZES, LOCATIONS, & CONFIGURATIONS MAY VARY DUE TO JOBSITE CONDITIONS.
- ACTUAL LOCATIONS OF UTILITIES, COMMON ELEMENTS, LIMITED COMMON ELEMENTS, FENCES, AND OTHER FEATURES MAY VARY DUE TO ON SITE CONDITIONS.
- PLAN #-R IS REVERSE FLOOR PLAN
- NO AFS/IRRIGATION ON METER
- ALL OFF-STREET PARKING SPACES, PARKING LOTS AND DRIVEWAYS SHALL BE PROVIDED AND MAINTAINED WITH AN ALL-WEATHER SURFACE.
- ALL (LIMITED COMMON ELEMENT) YARD AREAS TO BE LANDSCAPED ACCORDING TO CPR DECLARATION AND PROJECT RULES.
- ALL REQUIRED YARD SHALL BE LANDSCAPED AND MAINTAINED IN HEALTHY CONDITION.
- THESE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH CHAPTER 15-215, HAWAII ADMINISTRATIVE RULES, "KALAELOA COMMUNITY DEVELOPMENT DISTRICT RULES".
- * AS SET FORTH IN THE CONDOMINIUM DECLARATION FOR KA'ULU BY GENTRY I, SUBJECT TO CERTAIN RESTRICTIONS, THE OWNERS AND RESIDENTS OF UNITS 191-198 OF THE KA'ULU BY GENTRY II, (FUTURE), PHASE 8 CONDOMINIUM PROJECT SHALL EACH HAVE THE RIGHT AND AN EASEMENT TO PLACE THEIR RESPECTIVE TRASH CONTAINERS ON THE PORTION OF THE PROJECT THAT IS DESIGNATED ON KA'ULU BY GENTRY I, PHASE 1 FOR THE PLACEMENT OF SUCH CONTAINERS, AS WELL AS AN EASEMENT FOR ACCESS TO SUCH LOCATION.

ENLARGE PARTIAL SITE PLAN
 UNITS 144-147 & 169-176
 SCALE: 1"=20' (24"x36" SHEET)



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GENTRY KALAELOA, LLC
 1000 KALAELOA CENTER DRIVE, SUITE 100
 KALAELOA, HAWAII 96761



KA'ULU BY GENTRY
 BUILDING CPR SET
GENTRY KALAELOA, LLC
 HONOLULU, HAWAII

DRAWN BY: JM
 CHECKED BY: RST JS
 TRACK NO:
 ISSUE DATE: 03/20/2023
 REVISIONS:

CHAPTER:
 SHEET TITLE:
 KA'ULU BY GENTRY I
 CPR SET
 ENLARGE PARTIAL SITE PLAN
 SHEET NUMBER:

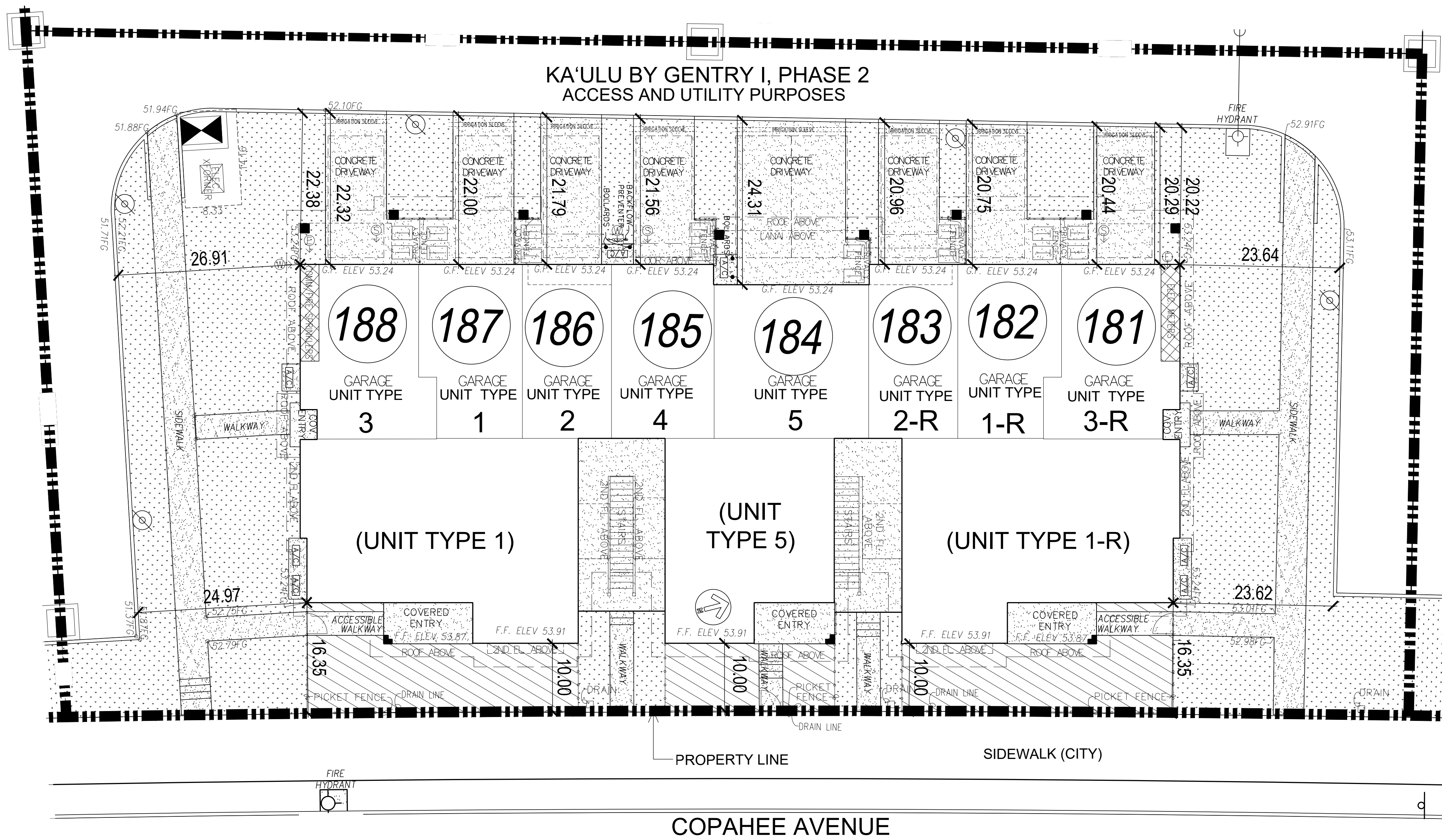
S-01

KA'ULU BY GENTRY I
 KALAELOA, PARCEL 1, INCREMENT 1
 91-1101 FRANKLIN D. ROOSEVELT AVENUE,
 KAPOLEI, HAWAII 96707
 TMK: 9-1-013: 197

KA'ULU BY GENTRY I, PHASE 1

KA'ULU BY GENTRY I, PHASE 2
 ACCESS AND UTILITY PURPOSES

(FUTURE) KA'ULU BY GENTRY II, PHASE 8



LEGEND:

- APPROX. LIMIT OF PRIVATE YARD AREA (LIMITED COMMON ELEMENT)
- APPROXIMATE LIMIT OF ASSOCIATION LANDSCAPING (COMMON ELEMENT)
- APPROXIMATE LOCATION OF CONC. DRIVEWAY, WALKWAY, & PARKING (LIMITED COMMON ELEMENT)
- MULTI-FAMILY BUILDING (LIMITED COMMON ELEMENT)

ALL PARKING SPACES ARE STANDARD

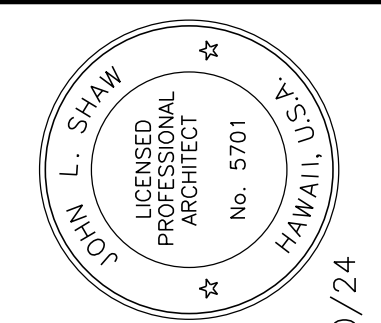
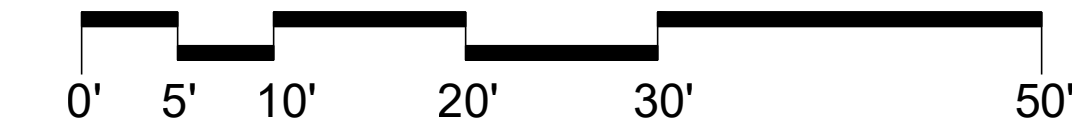
- APPROX. ELECTRICAL LINE LOCATION
- APPROX. SEWER LINE LOCATION
- APPROX. WATER LINE LOCATION
- APPROX. ELECT. METER LOCATION
- APPROX. LOCATION OF STREET LIGHT
- AIR CONDITIONING PAD
- TRASH/RECYCLE BIN LOCATION
- DRAIN
- UTILITIES

NOTES:

- WALKWAYS, DRIVEWAYS, OPT. PARKING, AND FENCED YARD SIZES, LOCATIONS, & CONFIGURATIONS MAY VARY DUE TO JOBSITE CONDITIONS.
- ACTUAL LOCATIONS OF UTILITIES, COMMON ELEMENTS, LIMITED COMMON ELEMENTS, FENCES, AND OTHER FEATURES MAY VARY DUE TO ON SITE CONDITIONS.
- PLAN # -R IS REVERSE FLOOR PLAN
- NO AFS/IRRIGATION ON METER
- ALL OFF-STREET PARKING SPACES, PARKING LOTS AND DRIVEWAYS SHALL BE PROVIDED AND MAINTAINED WITH AN ALL-WEATHER SURFACE.
- ALL (LIMITED COMMON ELEMENT) YARD AREAS TO BE LANDSCAPED ACCORDING TO CPR DECLARATION AND PROJECT RULES.
- ALL REQUIRED YARD SHALL BE LANDSCAPED AND MAINTAINED IN HEALTHY CONDITION.
- THESE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH CHAPTER 15-215, HAWAII ADMINISTRATIVE RULES, "KALAELOA COMMUNITY DEVELOPMENT DISTRICT RULES".

A
S-02

ENLARGE PARTIAL SITE PLAN
8-PLEX - PLANTATION
BUILDING 18, UNITS 181-188
 SCALE: 1"=10' (24"x36" SHEET)



THESE DRAWINGS AND ACCOMPANYING SPECIFICATIONS ARE THE PROPERTY OF GENTRY KALAELOA, LLC. NO PART OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GENTRY KALAELOA, LLC. THESE DRAWINGS AND SPECIFICATIONS SHALL REMAIN WITH THE ARCHITECT WITHOUT PREJUDICE TO THE ARCHITECT'S OBLIGATION TO THE CLIENT. DATE: 04/30/24

GENTRY KALAELOA, LLC
 100 KALAELOA CENTER DRIVE, SUITE 100
 KALAELOA, HAWAII 96741
 (808) 261-1000

KA'ULU BY GENTRY
 BUILDING CPR SET
GENTRY KALAELOA, LLC
 HONOLULU, HAWAII

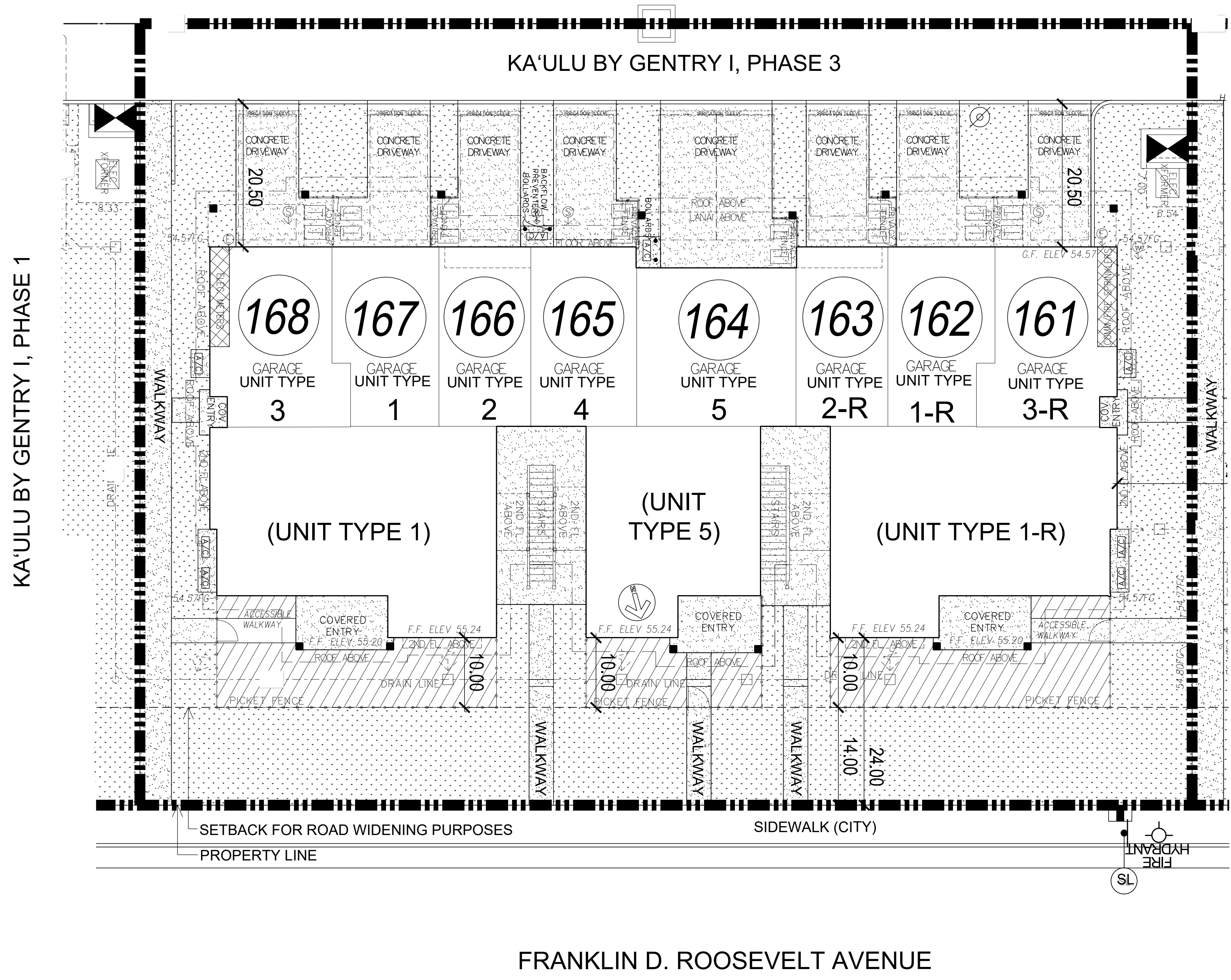
DRAWN BY: JM
 CHECKED BY: RST JS
 TRACK NO:
 ISSUE DATE: 03/20/2023
 REVISIONS:

CHAPTER:
 SHEET TITLE:
 KA'ULU BY GENTRY I
 CPR SET
 ENLARGE PARTIAL SITE PLAN
 SHEET NUMBER:

S-02

KA'ULU BY GENTRY I
 KALAELOA, PARCEL 1, INCREMENT 1
 91-1101 FRANKLIN D. ROOSEVELT AVENUE,
 KAPOLEI, HAWAII 96707
 TMK: 9-1-013: 197

KA'ULU BY GENTRY I, PHASE 1



FRANKLIN D. ROOSEVELT AVENUE

LEGEND:

- APPROX. LIMIT OF PRIVATE YARD AREA (LIMITED COMMON ELEMENT)
- APPROXIMATE LIMIT OF ASSOCIATION LANDSCAPING (COMMON ELEMENT)
- APPROXIMATE LOCATION OF CONC. DRIVEWAY, WALKWAY, & PARKING (LIMITED COMMON ELEMENT)
- MULTI-FAMILY BUILDING (LIMITED COMMON ELEMENT)
- ALL PARKING SPACES ARE STANDARD

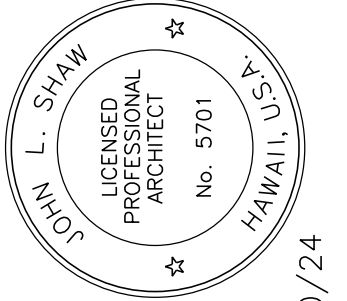
- APPROX. ELECTRICAL LINE LOCATION
- APPROX. SEWER LINE LOCATION
- APPROX. WATER LINE LOCATION
- APPROX. ELECT. METER LOCATION
- APPROX. LOCATION OF STREET LIGHT
- AIR CONDITIONING PAD
- TRASH/RECYCLE BIN LOCATION
- DRAIN
- UTILITIES

NOTES:

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- PLAN #-R IS REVERSE FLOOR PLAN
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A
S-03

ENLARGE PARTIAL SITE PLAN
8-PLEX - CRAFTSMAN
BUILDING 16, UNITS 161-168
 SCALE: 1"=10' (24"x36" SHEET)



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WORKS PREPARED BY ME OR UNDER MY SUPERVISION AND CONTROL IN ACCORDANCE WITH THE HAWAII REVISED STATUTES, AS STIPULATED IN CHAPTER 15 OF THE HAWAII REVISED STATUTES.

L. Spaw
 DATE: 04/30/24

GENTRY KALAELOA, LLC
 1515 KALAELOA DRIVE, SUITE 100
 KALAELOA, HAWAII 96763
 (808) 264-8800

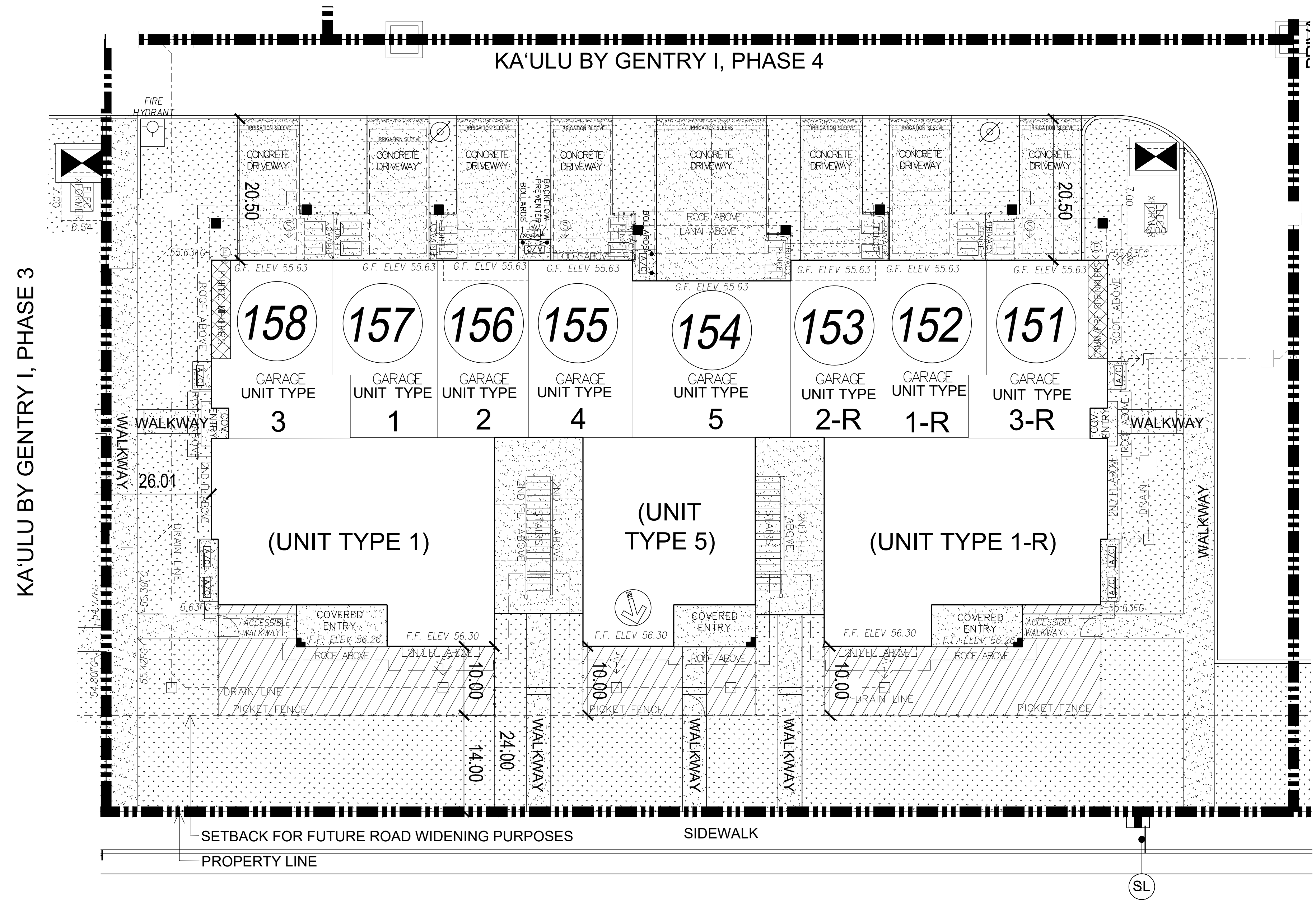
KA'ULU BY GENTRY
 BUILDING CPR SET
GENTRY KALAELOA, LLC
 HONOLULU, HAWAII

DRAWN BY: JM
 CHECKED BY: RST JS
 TRACK NO:
 ISSUE DATE: 03/20/2023
 REVISIONS:
 CHAPTER:
 SHEET TITLE:
 KA'ULU BY GENTRY I
 CPR SET
 ENLARGE PARTIAL SITE PLAN
 SHEET NUMBER:

S-03

KA'ULU BY GENTRY I
 KALAELOA, PARCEL 1, INCREMENT 1
 91-1101 FRANKLIN D. ROOSEVELT AVENUE,
 KAPOLEI, HAWAII 96707
 TMK: 9-1-013: 197

KA'ULU BY GENTRY I, PHASE 1



FRANKLIN D. ROOSEVELT AVENUE

LEGEND:

- APPROX. LIMIT OF PRIVATE YARD AREA (LIMITED COMMON ELEMENT)
- APPROXIMATE LIMIT OF ASSOCIATION LANDSCAPING (COMMON ELEMENT)
- APPROXIMATE LOCATION OF CONC. DRIVEWAY, WALKWAY, & PARKING (LIMITED COMMON ELEMENT)
- MULTI-FAMILY BUILDING (LIMITED COMMON ELEMENT)
- ALL PARKING SPACES ARE STANDARD

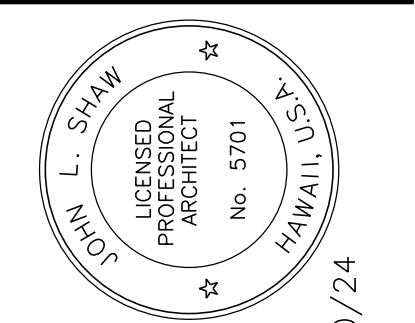
- APPROX. ELECTRICAL LINE LOCATION
- APPROX. SEWER LINE LOCATION
- APPROX. WATER LINE LOCATION
- APPROX. ELECT. METER LOCATION
- APPROX. LOCATION OF STREET LIGHT
- AIR CONDITIONING PAD
- TRASH/RECYCLE BIN LOCATION
- DRAIN
- UTILITIES

NOTES:

- WALKWAYS, DRIVEWAYS, OPT. PARKING, AND FENCED YARD SIZES, LOCATIONS, & CONFIGURATIONS MAY VARY DUE TO JOBSITE CONDITIONS.
- ACTUAL LOCATIONS OF UTILITIES, COMMON ELEMENTS, LIMITED COMMON ELEMENTS, FENCES, AND OTHER FEATURES MAY VARY DUE TO ON SITE CONDITIONS.
- PLAN #-R IS REVERSE FLOOR PLAN
- NO AFS/IRRIGATION ON METER
- ALL OFF-STREET PARKING SPACES, PARKING LOTS AND DRIVEWAYS SHALL BE PROVIDED AND MAINTAINED WITH AN ALL-WEATHER SURFACE.
- ALL (LIMITED COMMON ELEMENT) YARD AREAS TO BE LANDSCAPED ACCORDING TO CPR DECLARATION PROJECT RULES.
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A
S-04

ENLARGE PARTIAL SITE PLAN
8-PLEX - PLANTATION
BUILDING 15, UNITS 151-158
 SCALE: 1"=10' (24"x36" SHEET)



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GENTRY KALAELOA, LLC
 1515 KALAELOA DRIVE, SUITE 100
 KALAELOA, HAWAII 96741
 (808) 261-1000

KA'ULU BY GENTRY
 BUILDING CPR SET
GENTRY KALAELOA, LLC
 HONOLULU, HAWAII

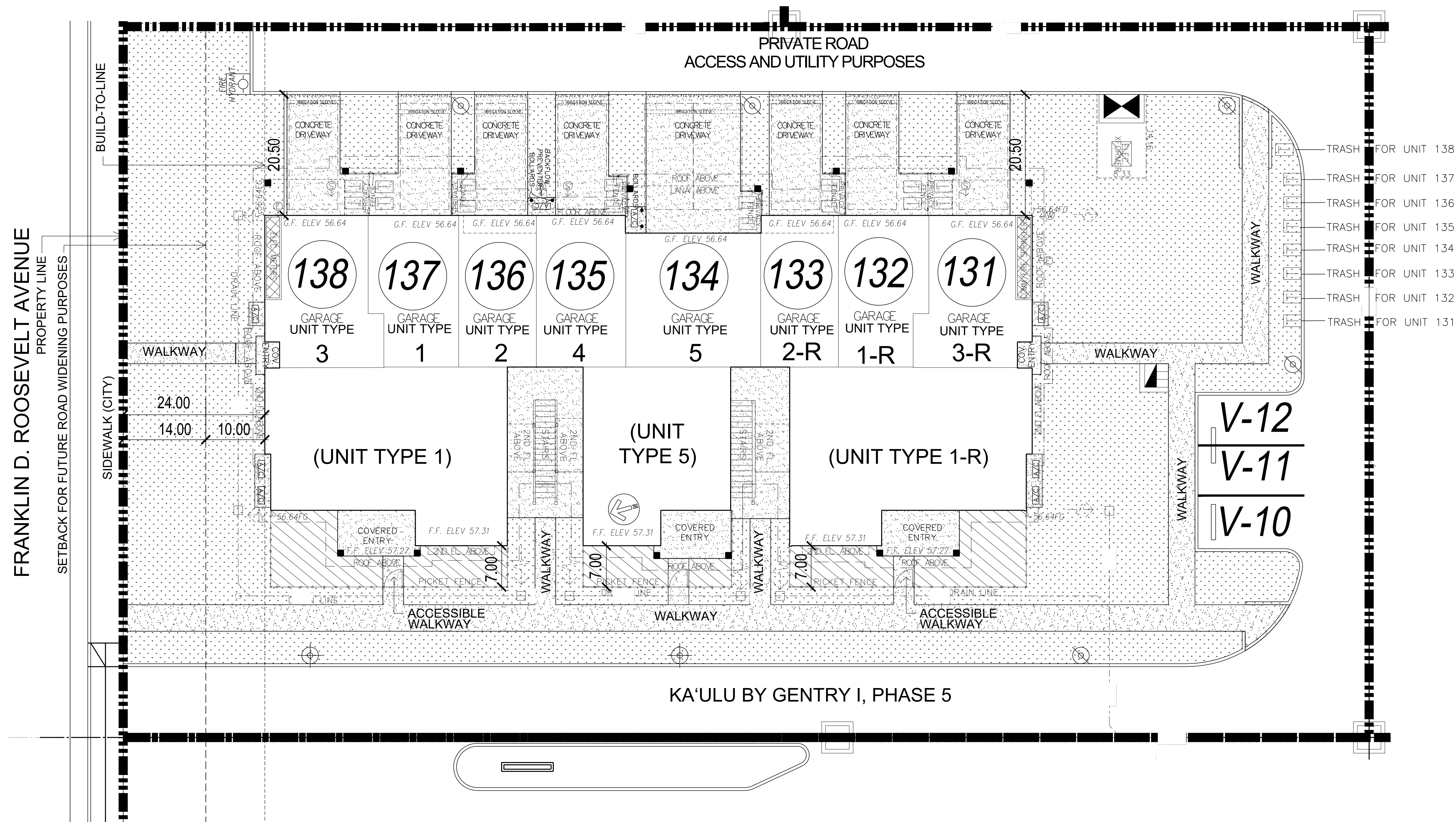
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CHECKED BY:	RST JS
TRACK NO:	
ISSUE DATE:	03/20/2023
REVISIONS:	

CHAPTER:
 SHEET TITLE:
 KA'ULU BY GENTRY I
 CPR SET
 ENLARGE PARTIAL SITE PLAN
 SHEET NUMBER:

S-04

KA'ULU BY GENTRY I
 KALAELOA, PARCEL 1, INCREMENT 1
 91-1101 FRANKLIN D. ROOSEVELT AVENUE,
 KAPOLEI, HAWAII 96707
 TMK: 9-1-013: 197

KA'ULU BY GENTRY I, PHASE 4



FRANKLIN D. ROOSEVELT AVENUE
 PROPERTY LINE
 SETBACK FOR FUTURE ROAD WIDENING PURPOSES

KA'ULU BY GENTRY I, PHASE 5

KA'ULU BY GENTRY I, PHASE 6

LEGEND:

- APPROX. LIMIT OF PRIVATE YARD AREA (LIMITED COMMON ELEMENT)
- APPROXIMATE LIMIT OF ASSOCIATION LANDSCAPING (COMMON ELEMENT)
- APPROXIMATE LOCATION OF CONC. DRIVEWAY, WALKWAY, & PARKING (LIMITED COMMON ELEMENT)
- MULTI-FAMILY BUILDING (LIMITED COMMON ELEMENT)

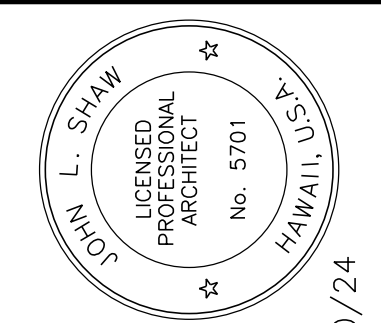
ALL PARKING SPACES ARE STANDARD

- APPROX. ELECTRICAL LINE LOCATION
- APPROX. SEWER LINE LOCATION
- APPROX. WATER LINE LOCATION
- APPROX. ELECT. METER LOCATION
- APPROX. LOCATION OF STREET LIGHT
- AIR CONDITIONING PAD
- TRASH/RECYCLE BIN LOCATION
- DRAIN
- UTILITIES

- NOTES:**
- WALKWAYS, DRIVEWAYS, OPT. PARKING, AND FENCED YARD SIZES, LOCATIONS, & CONFIGURATIONS MAY VARY DUE TO JOBSITE CONDITIONS.
 - ACTUAL LOCATIONS OF UTILITIES, COMMON ELEMENTS, LIMITED COMMON ELEMENTS, FENCES, AND OTHER FEATURES MAY VARY DUE TO ON SITE CONDITIONS.
 - PLAN #--R IS REVERSE FLOOR PLAN
 - NO AFS/IRRIGATION ON METER
 - ALL OFF-STREET PARKING SPACES, PARKING LOTS AND DRIVEWAYS SHALL BE PROVIDED AND MAINTAINED WITH AN ALL-WEATHER SURFACE.
 - ALL LIMITED COMMON ELEMENT YARD AREA TO BE LANDSCAPED ACCORDING TO CPR DECLARATION PROJECT RULES.
 - ALL REQUIRED YARD SHALL BE LANDSCAPED AND MAINTAINED IN HEALTHY CONDITION.
 - THESE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH CHAPTER 15-215, HAWAII ADMINISTRATIVE RULES, "KALAELOA COMMUNITY DEVELOPMENT DISTRICT RULES".

A
 S-05

ENLARGE PARTIAL SITE PLAN
 8-PLEX - CRAFTSMAN
 BUILDING 13, UNITS 131-138
 SCALE: 1"=10' (24"x36" SHEET)



THESE DRAWINGS AND ACCOMPANYING SPECIFICATIONS ARE THE PROPERTY OF GENTRY KALAELOA, LLC. NO PART OF THIS PUBLICATION SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GENTRY KALAELOA, LLC. THESE DRAWINGS AND ACCOMPANYING SPECIFICATIONS SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY OTHER USE IS STRICTLY PROHIBITED EXCEPT BY WRITTEN PERMISSION OF GENTRY KALAELOA, LLC. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE DRAWINGS AND ACCOMPANYING SPECIFICATIONS UNLESS SUCH DAMAGE OR INJURY IS CAUSED BY NEGLIGENCE ON THE PART OF THE ARCHITECT.

DATE: 04/30/24

GENTRY KALAELOA, LLC
 100 KALAELOA CENTER DRIVE, SUITE 100
 KALAELOA, HAWAII 96703
 (808) 261-1000

KA'ULU BY GENTRY
 BUILDING CPR SET
GENTRY KALAELOA, LLC
 HONOLULU, HAWAII

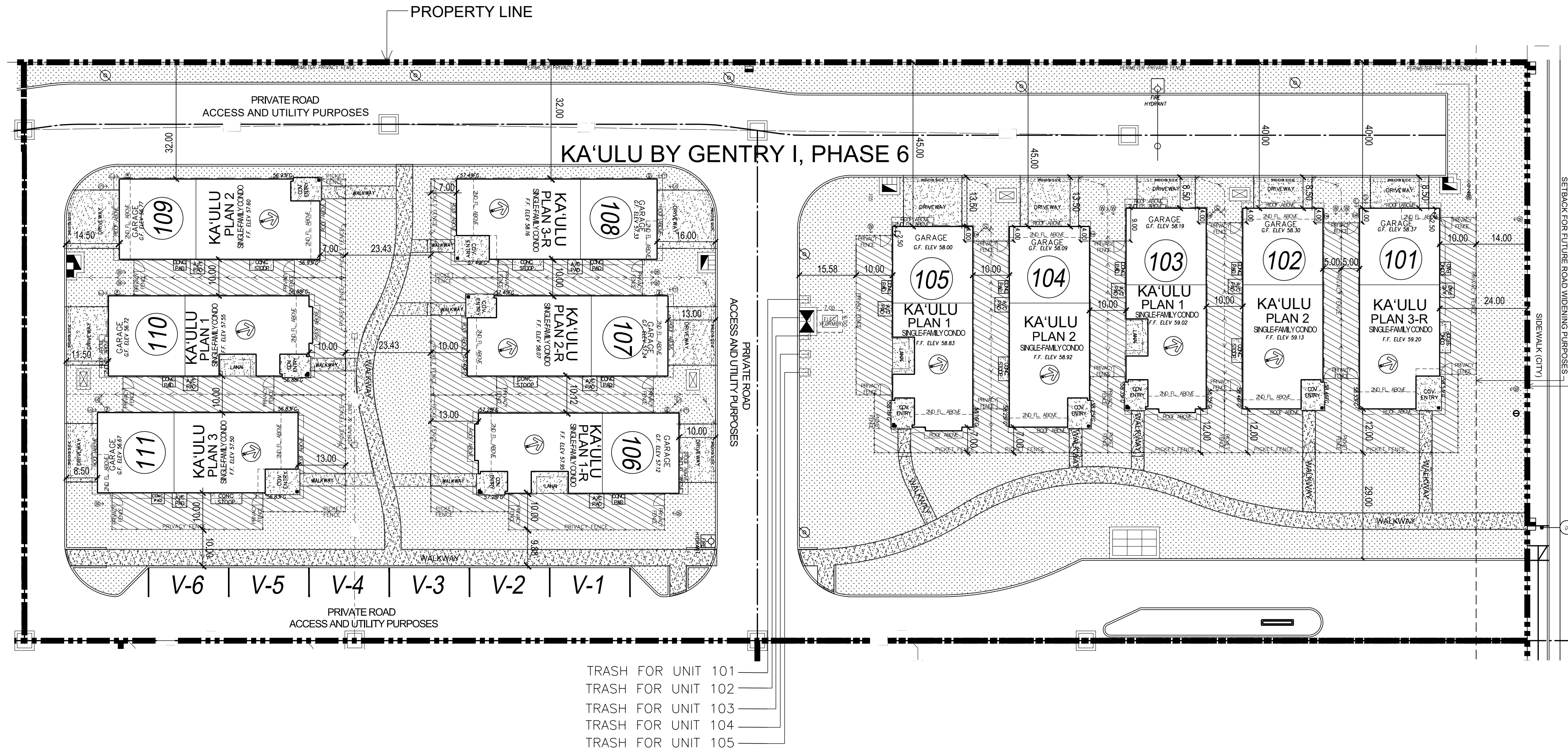
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CHAPTER:
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 CPR SET
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 SHEET NUMBER:

S-05




KA'ULU BY GENTRY I
 KALAELOA, PARCEL 1, INCREMENT 1
 91-1101 FRANKLIN D. ROOSEVELT AVENUE,
 KAPOLEI, HAWAII 96707
 TMK: 9-1-013: 197

VA CENTER
 (NOT PART OF KA'ULU BY GENTRY)












KA'ULU BY GENTRY I, PHASE 1

LEGEND:

-  APPROX. LIMIT OF PRIVATE YARD AREA (LIMITED COMMON ELEMENT)
-  APPROXIMATE LIMIT OF ASSOCIATION LANDSCAPING (COMMON ELEMENT)
-  APPROXIMATE LOCATION OF CONC. DRIVEWAY, WALKWAY, & PARKING (LIMITED COMMON ELEMENT)

 ALL PARKING SPACES ARE STANDARD

-  APPROX. ELECTRICAL LINE LOCATION
-  APPROX. SEWER LINE LOCATION
-  APPROX. WATER LINE LOCATION
-  APPROX. ELECT. METER LOCATION
-  APPROX. LOCATION OF STREET LIGHT
-  AIR CONDITIONING PAD
-  TRASH/RECYCLE BIN LOCATION
-  DRAIN
-  UTILITIES


NOTES:

- WALKWAYS, DRIVEWAYS, OPT. PARKING, AND FENCED YARD SIZES, LOCATIONS, & CONFIGURATIONS MAY VARY DUE TO JOBSITE CONDITIONS.
- ACTUAL LOCATIONS OF UTILITIES, COMMON ELEMENTS, LIMITED COMMON ELEMENTS, FENCES, AND OTHER FEATURES MAY VARY DUE TO ON SITE CONDITIONS.
- PLAN #-R IS REVERSE FLOOR PLAN
- NO AFS/IRRIGATION ON METER
- ALL OFF-STREET PARKING SPACES, PARKING LOTS AND DRIVEWAYS SHALL BE PROVIDED AND MAINTAINED WITH AN ALL-WEATHER SURFACE.
- ALL LIMITED COMMON ELEMENT YARD AREA TO BE LANDSCAPED ACCORDING TO CPR DECLARATION PROJECT RULES.
- ALL REQUIRED YARD SHALL BE LANDSCAPED AND MAINTAINED IN HEALTHY CONDITION.
- THESE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH CHAPTER 15-215, HAWAII ADMINISTRATIVE RULES, "KALAELOA COMMUNITY DEVELOPMENT DISTRICT RULES".

FRANKLIN D. ROOSEVELT AVENUE

A
 S-06

ENLARGE PARTIAL SITE PLAN
 UNITS 101-111
 SCALE: 1"=20' (24"x36" SHEET)




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 THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND I AM A LICENSED PROFESSIONAL ARCHITECT IN THE STATE OF HAWAII.
 L. SPAN
 DATE: 04/30/24

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 1015 HAWAII STREET, SUITE 1408
 KAPOLEI, HAWAII 96763
 (808) 548-2424

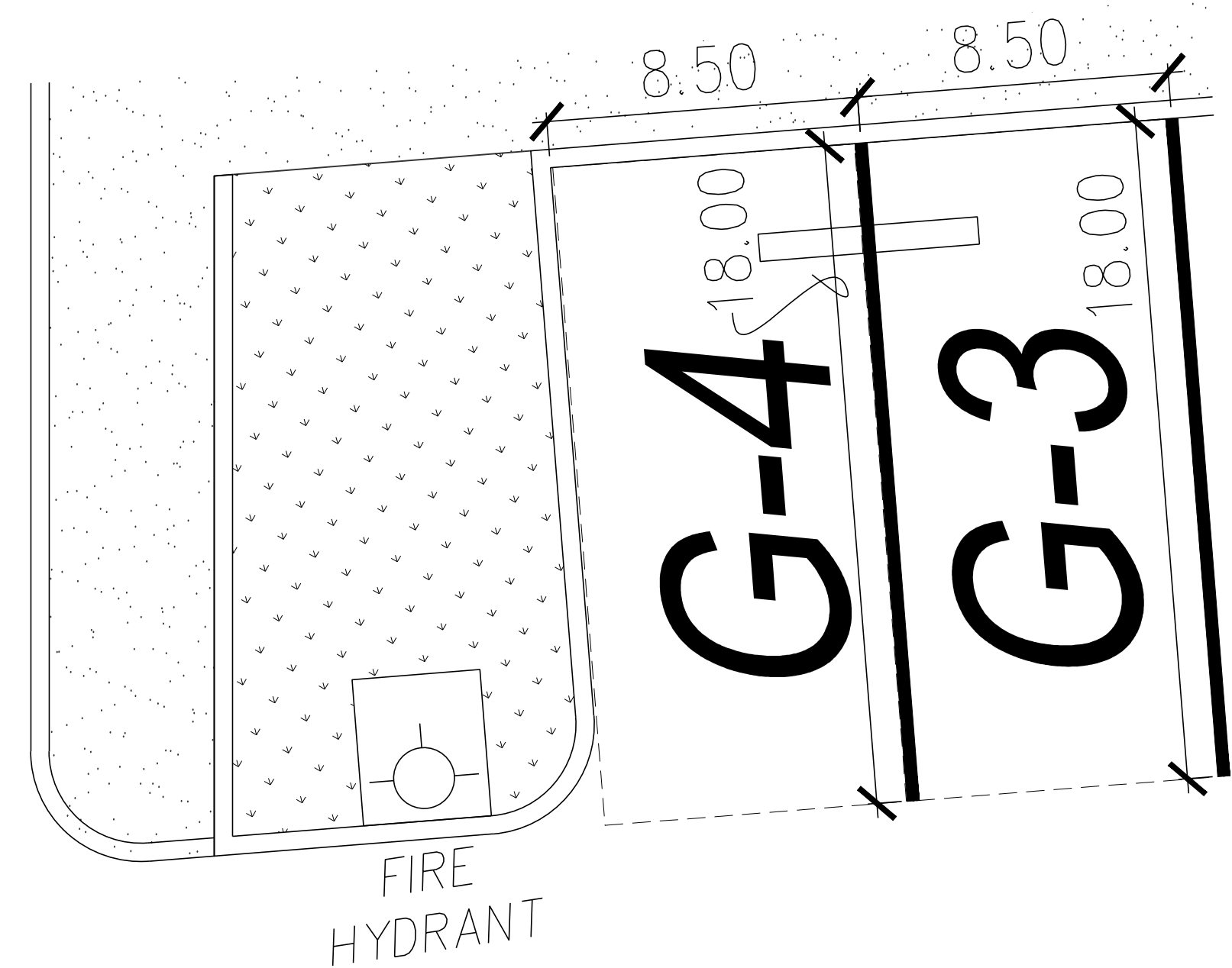


KA'ULU BY GENTRY
 BUILDING CPR SET
GENTRY KALAELOA, LLC
 HONOLULU, HAWAII

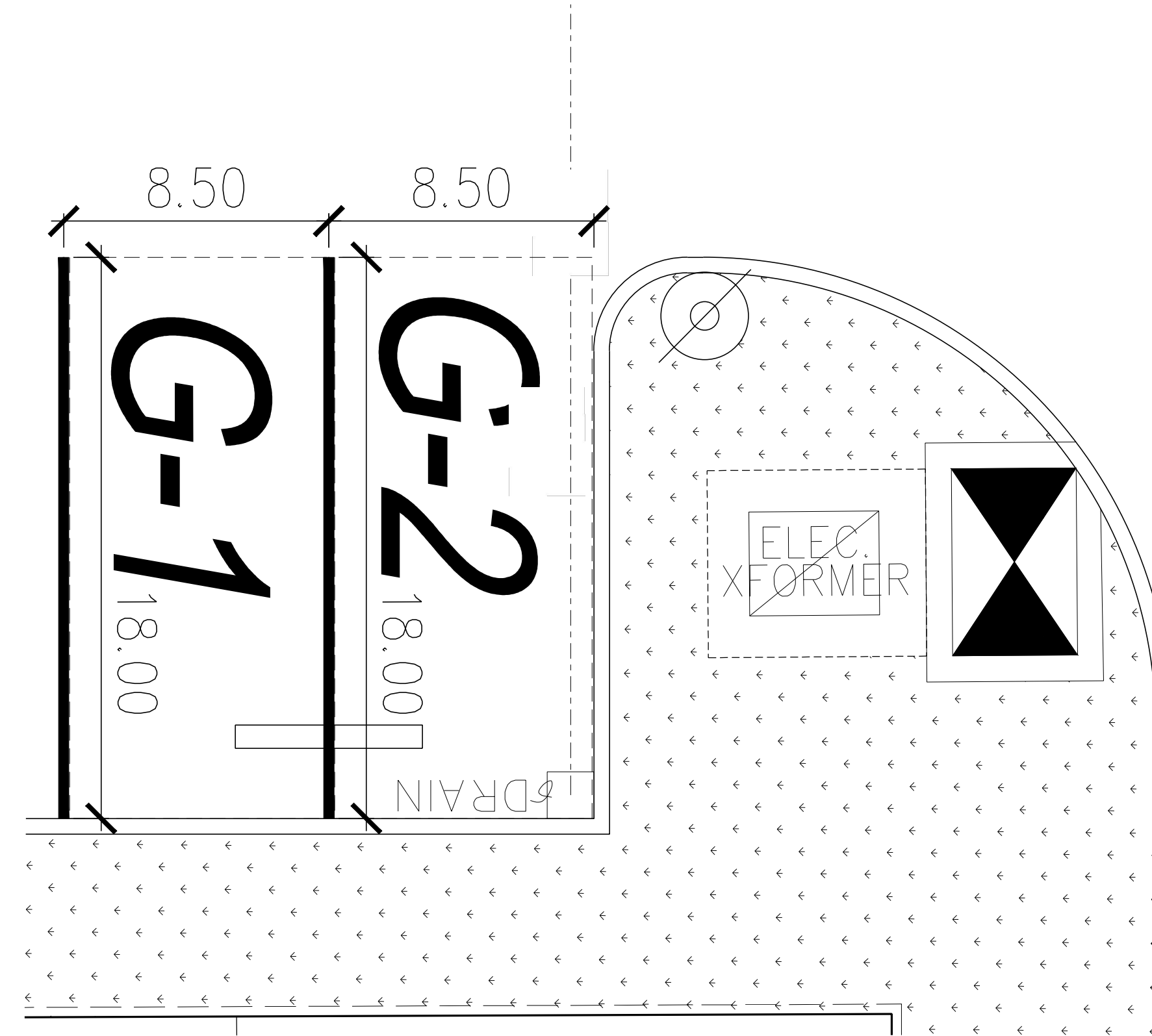
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 REVISIONS:

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 SHEET TITLE:
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 CPR SET
 ENLARGE PARTIAL SITE PLAN
 SHEET NUMBER:

KA'ULU BY GENTRY I
 KALAELOA, PARCEL 1, INCREMENT 1
 91-1101 FRANKLIN D. ROOSEVELT AVENUE,
 KAPOLEI, HAWAII 96707
 TMK: 9-1-013: 197



B
S-07
 ENLARGE PARTIAL SITE PLAN
 PARKING UNITS G-3 - G-4
 SCALE: 1"=4' (24"x36" SHEET)



A
S-07
 ENLARGE PARTIAL SITE PLAN
 PARKING UNITS G-1 - G-2
 SCALE: 1"=4' (24"x36" SHEET)

LEGEND:

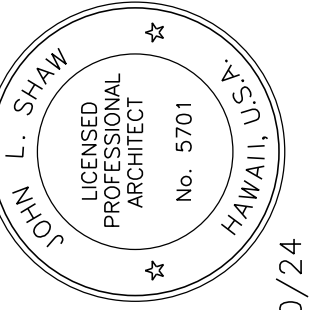
- APPROX. LIMIT OF PRIVATE YARD AREA (LIMITED COMMON ELEMENT)
- APPROXIMATE LIMIT OF ASSOCIATION LANDSCAPING (COMMON ELEMENT)
- APPROXIMATE LOCATION OF CONC. DRIVEWAY, WALKWAY, & PARKING (LIMITED COMMON ELEMENT)

ALL PARKING SPACES ARE STANDARD

- APPROX. ELECTRICAL LINE LOCATION
- APPROX. SEWER LINE LOCATION
- APPROX. WATER LINE LOCATION
- APPROX. ELECT. METER LOCATION
- APPROX. LOCATION OF STREET LIGHT
- AIR CONDITIONING PAD
- TRASH/RECYCLE BIN LOCATION
- DRAIN
- UTILITIES

NOTES:

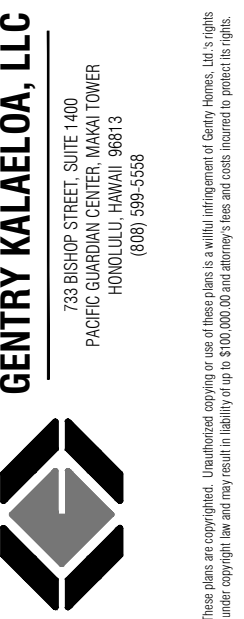
- WALKWAYS, DRIVEWAYS, OPT. PARKING, AND FENCED YARD SIZES, LOCATIONS, & CONFIGURATIONS MAY VARY DUE TO JOBSITE CONDITIONS.
- ACTUAL LOCATIONS OF UTILITIES, COMMON ELEMENTS, LIMITED COMMON ELEMENTS, FENCES, AND OTHER FEATURES MAY VARY DUE TO ON SITE CONDITIONS.
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L. Spaw
 DATE: 04/30/24

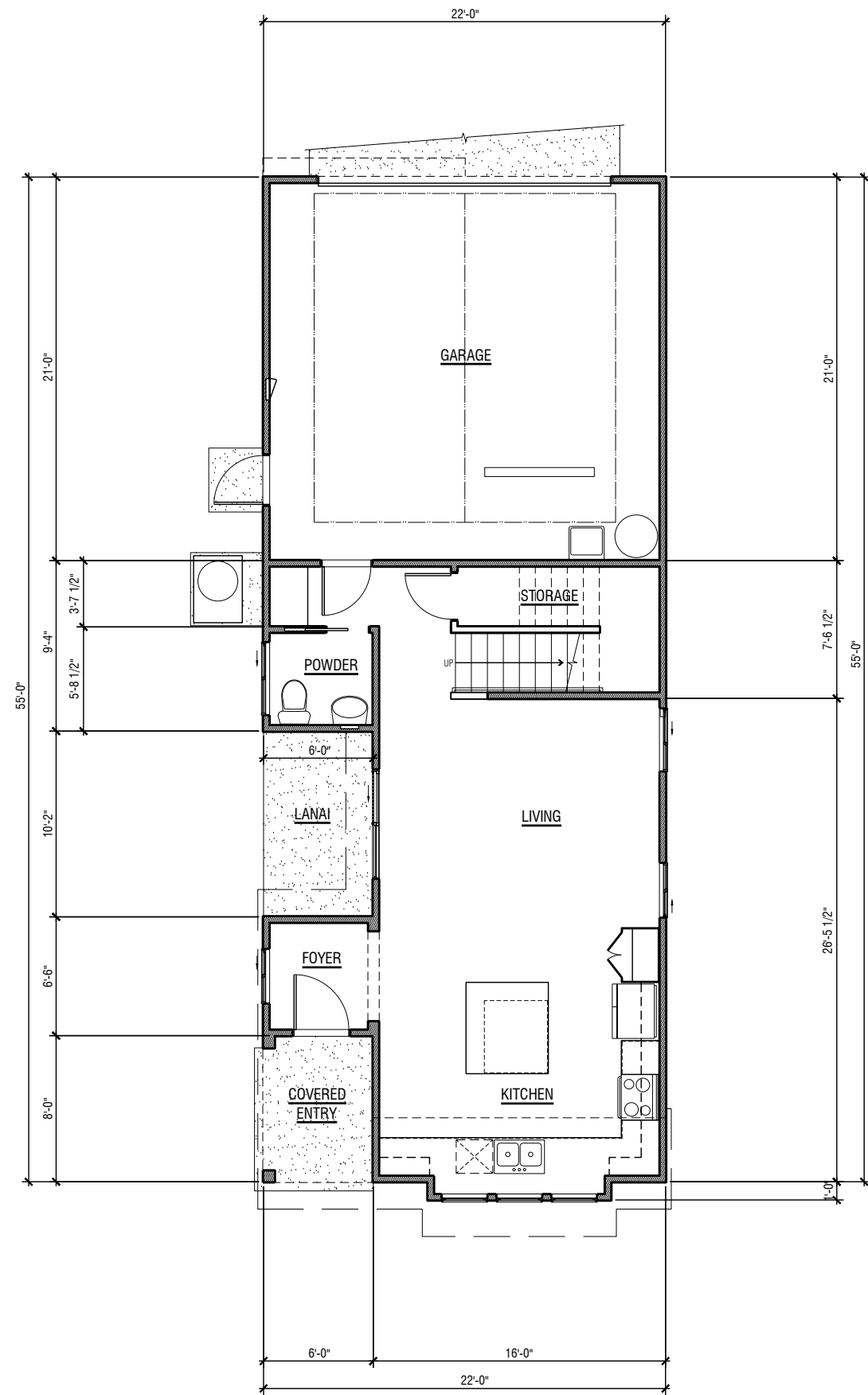


KA'ULU BY GENTRY
 BUILDING CPR SET
GENTRY KALAELOA, LLC
 HONOLULU, HAWAII

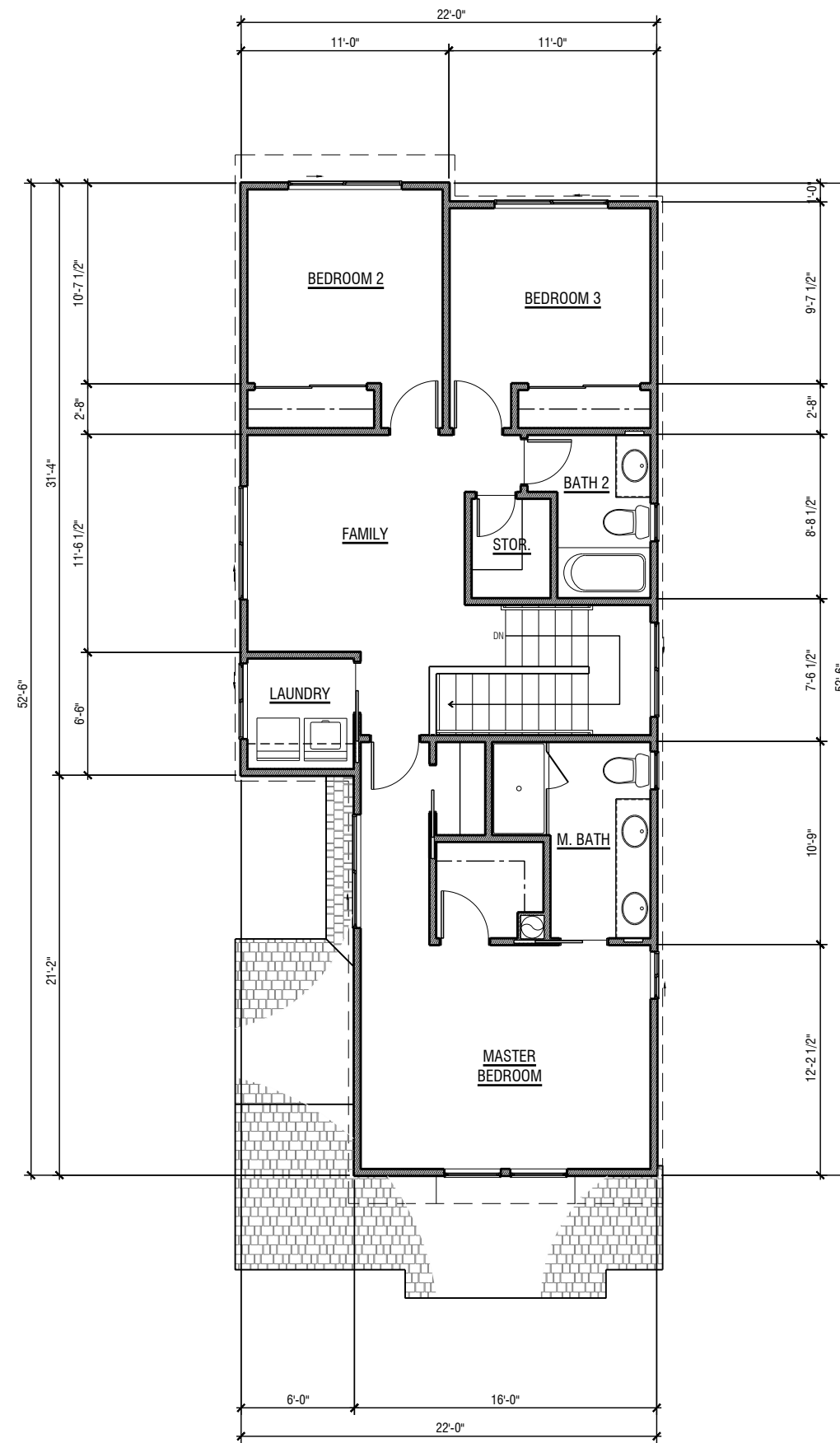
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CHAPTER:
 SHEET TITLE:
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 CPR SET
 ENLARGE PARTIAL SITE PLAN

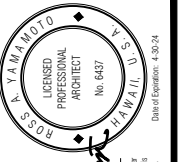
SHEET NUMBER:
S-07



FIRST FLOOR PLAN
1/8" = 1'-0"



SECOND FLOOR PLAN
1/8" = 1'-0"



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KAULU BY GENTRY • CPR SET
PLAN 1 - DETACHED SINGLE FAMILY

NO.	DATE	DESCRIPTION

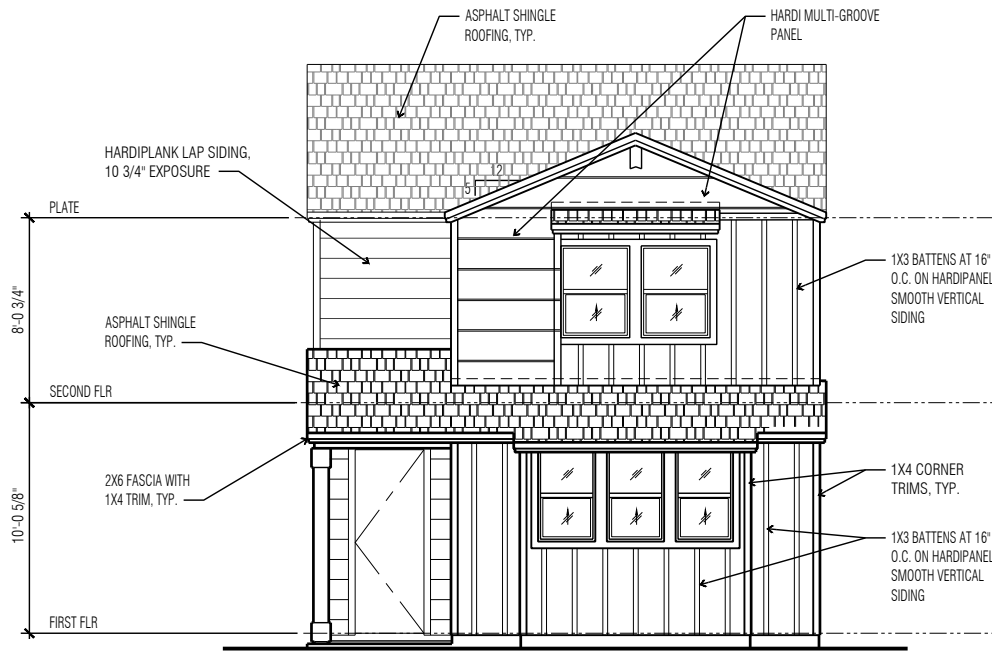
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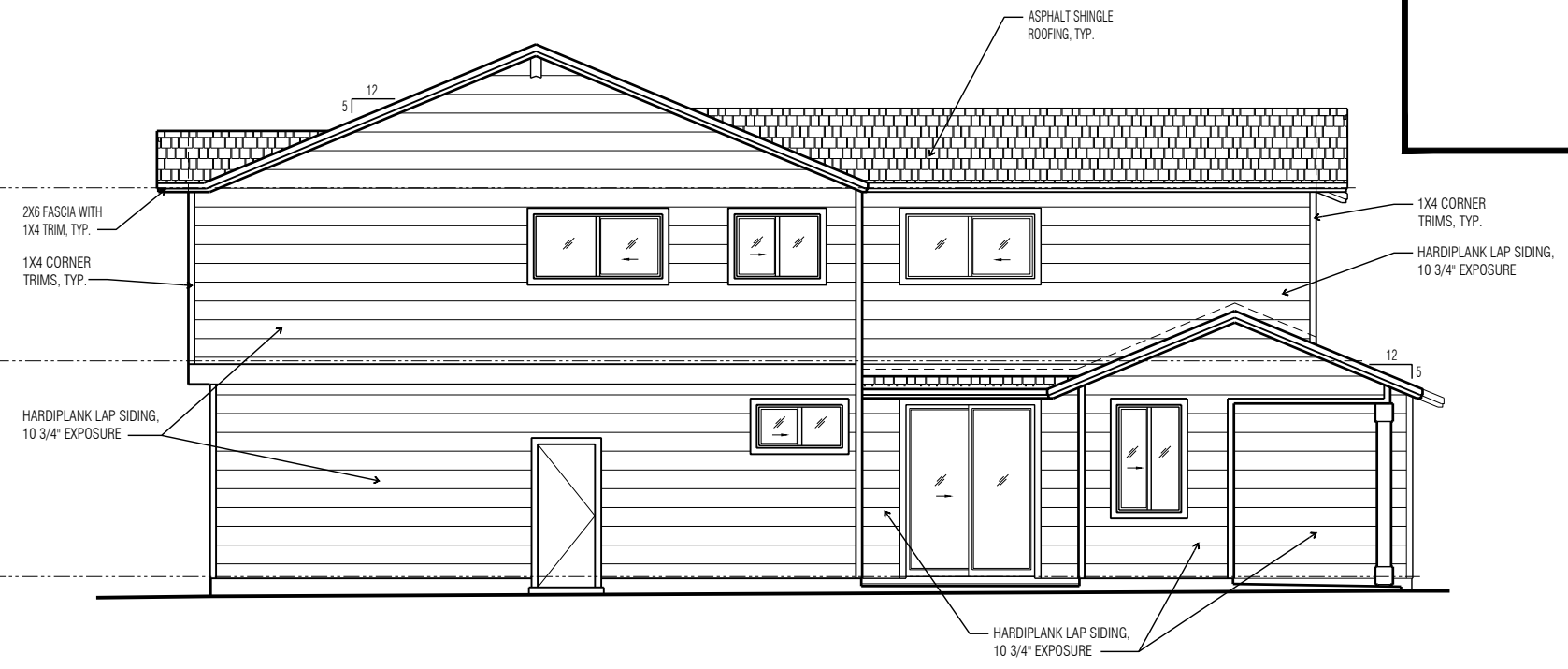
SF-1

1 OF 6 SHEETS

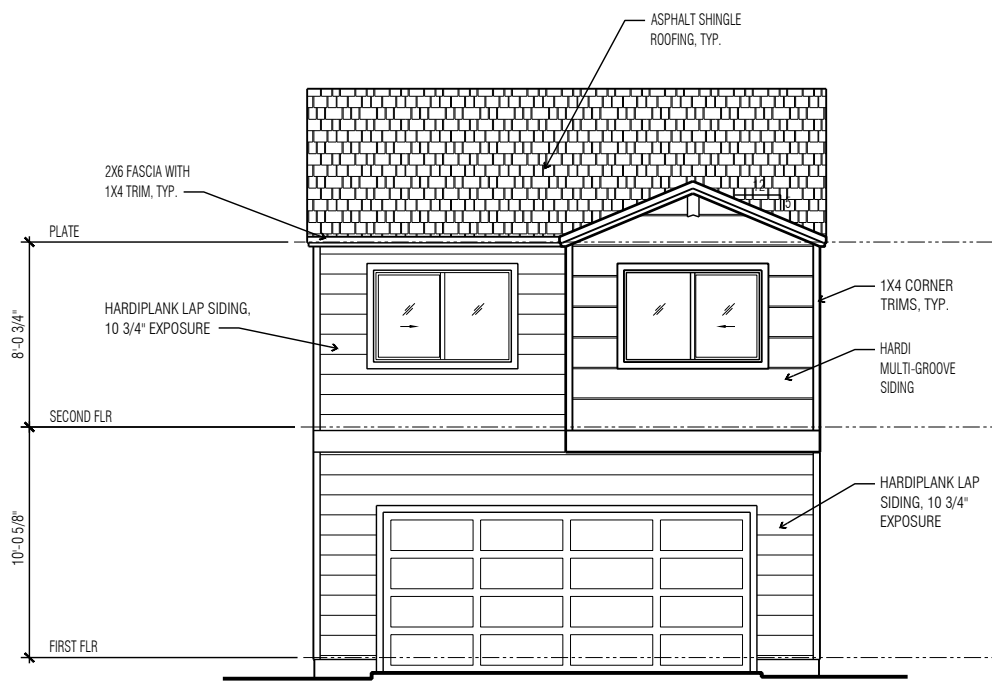
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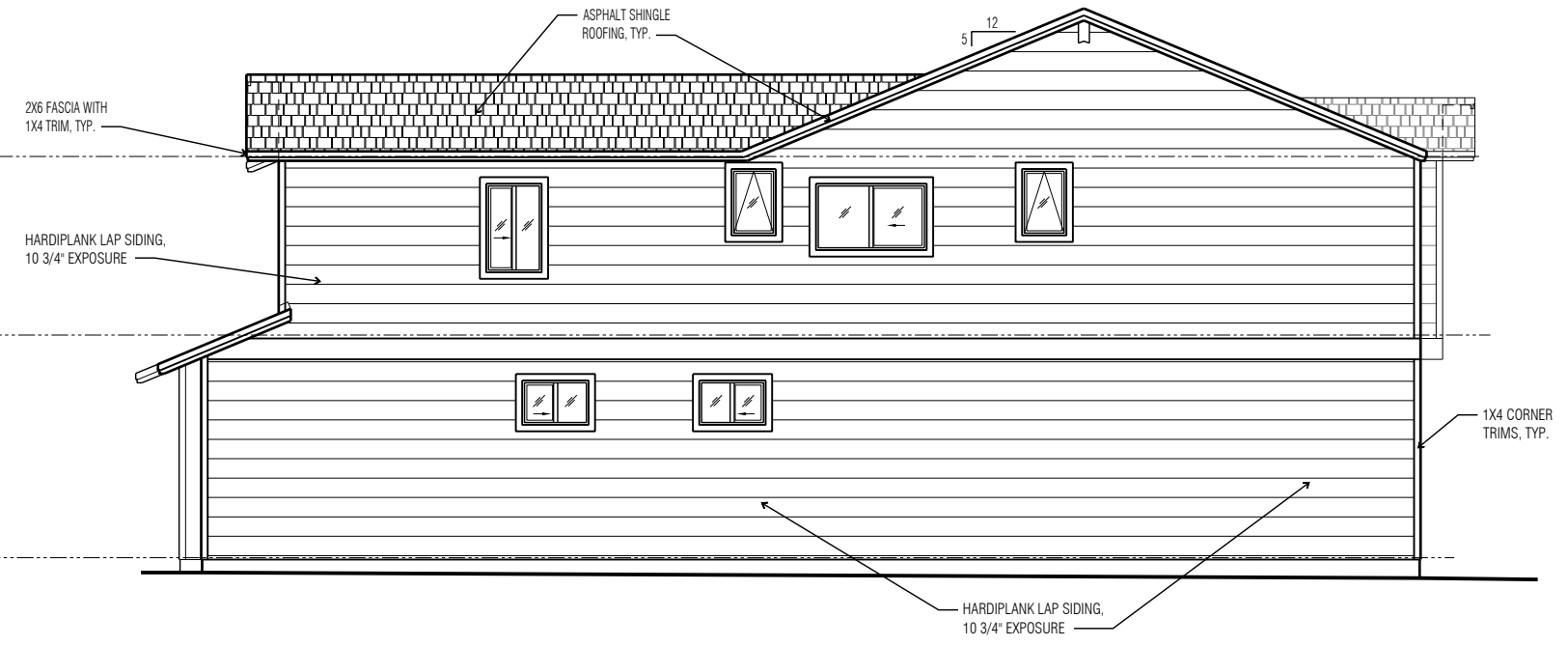
FRONT ELEVATION
1/8" = 1'-0"



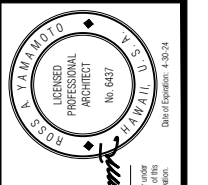
LEFT SIDE ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT SIDE ELEVATION
1/8" = 1'-0"



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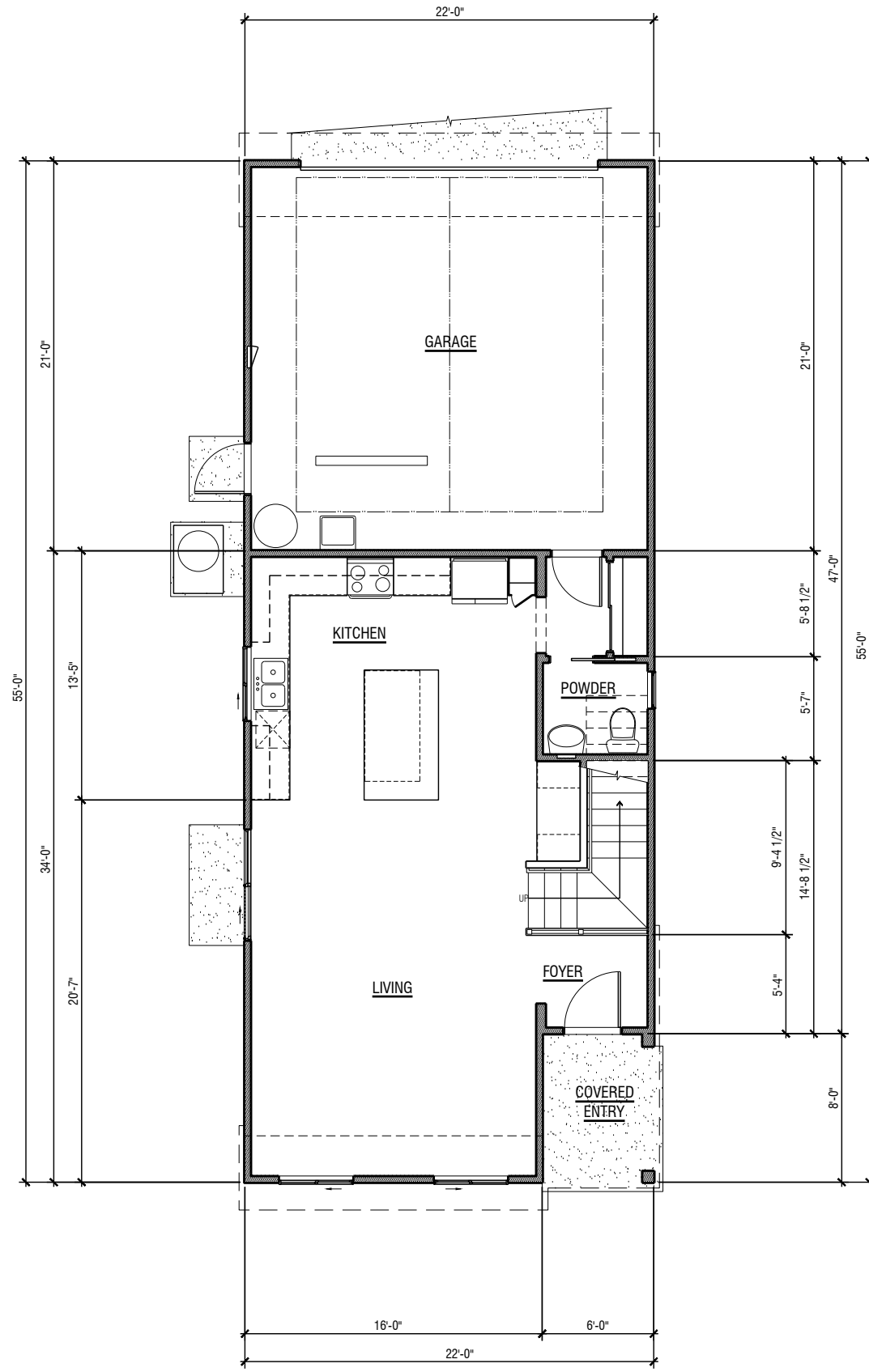
GENTRY KALAELOA, LLC
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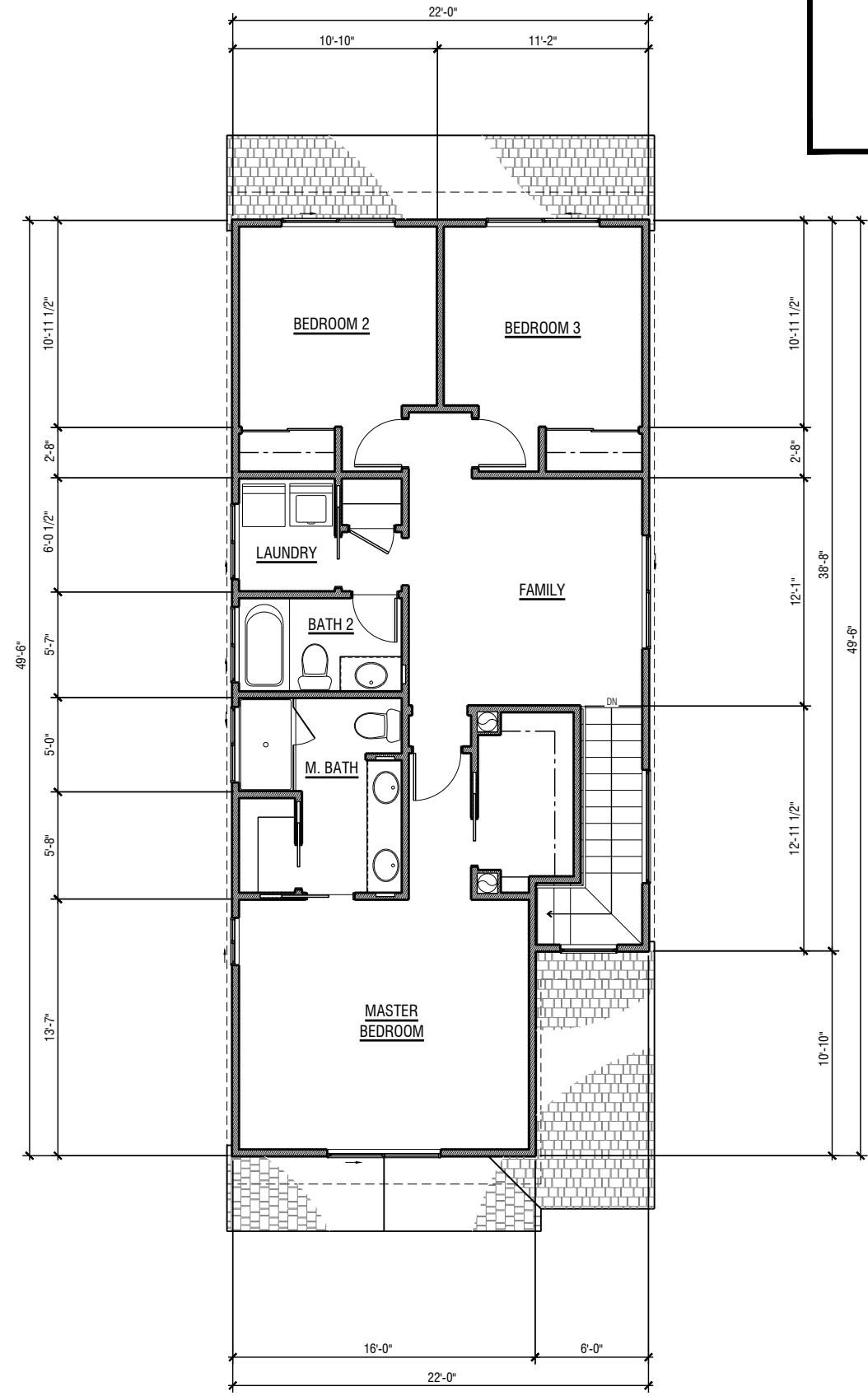
KAUULU BY GENTRY • CPR SET
PLAN 1 - DETACHED SINGLE FAMILY
EXTERIOR ELEVATIONS

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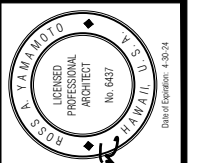
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DATE: 2/17/23
SHEET NUMBER
SF-2
2 OF 6 SHEETS



FIRST FLOOR PLAN
1/8" = 1'-0"



SECOND FLOOR PLAN
1/8" = 1'-0"



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KA'ULU BY GENTRY • CPR SET
PLAN 2 - DETACHED SINGLE FAMILY

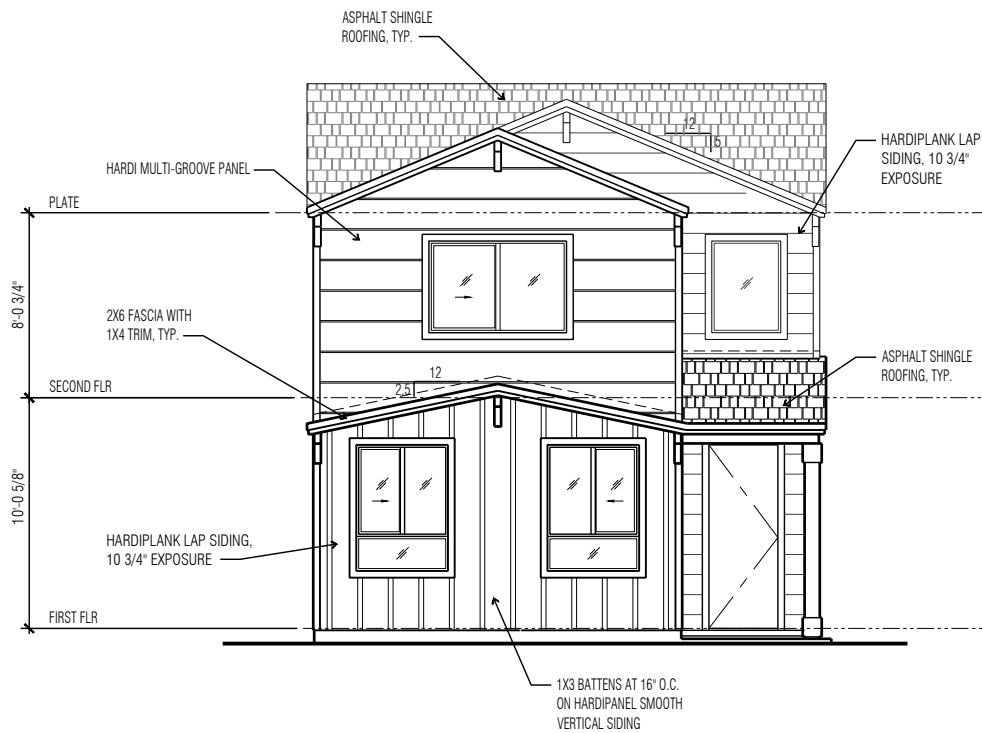
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DATE: 2/17/23

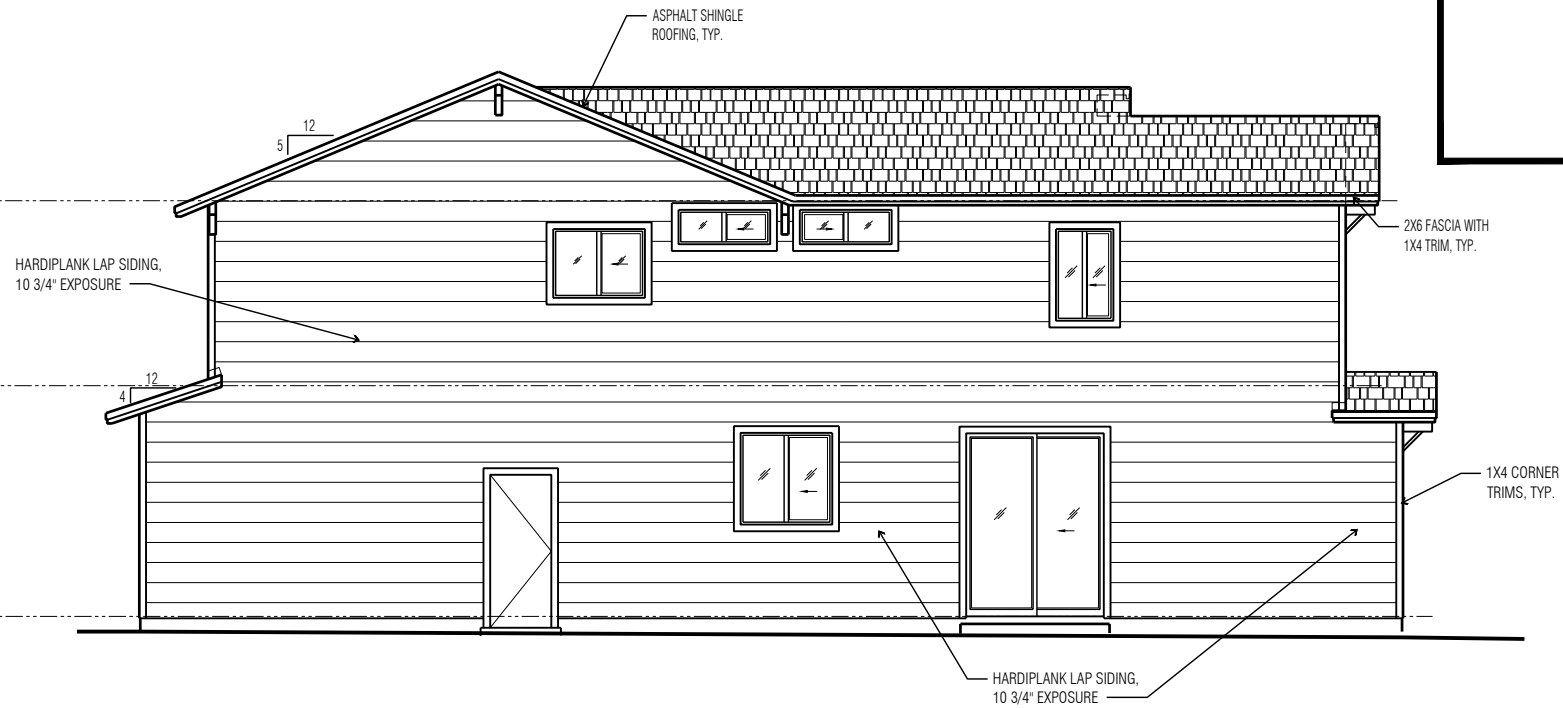
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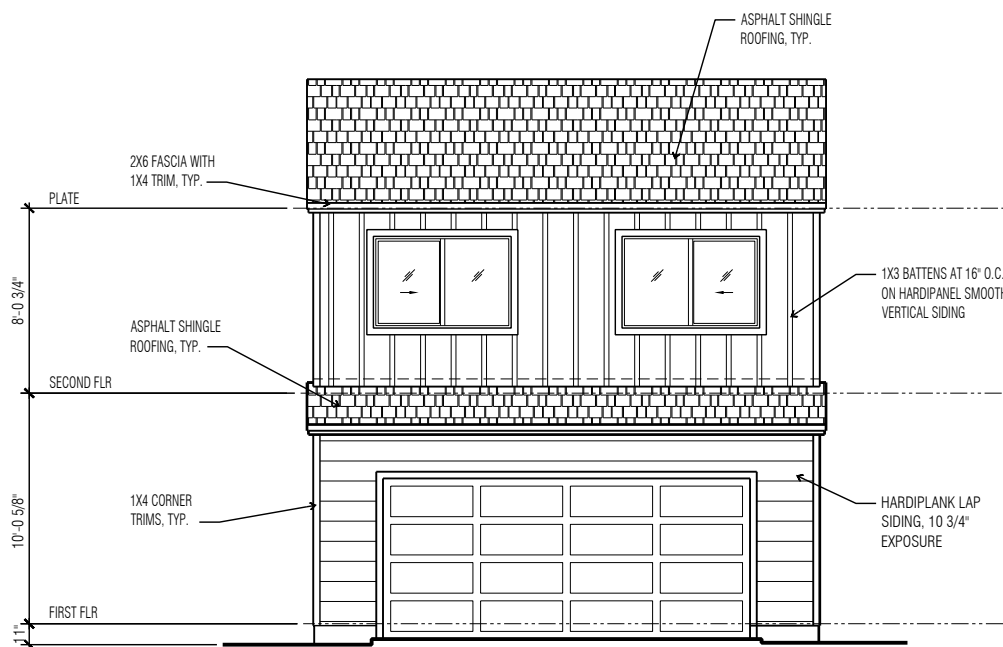
3 OF 6 SHEETS



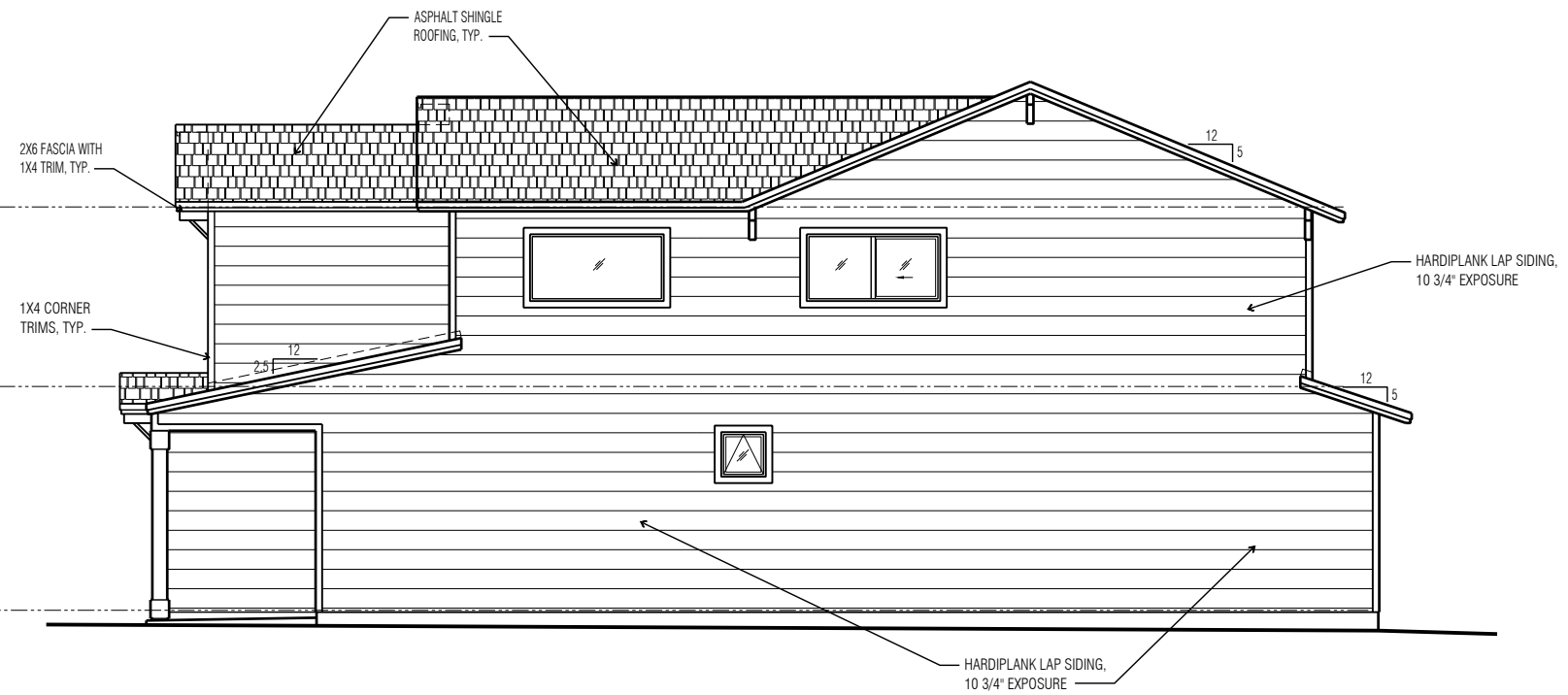
FRONT ELEVATION
1/8" = 1'-0"



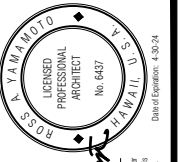
LEFT SIDE ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"



RIGHT SIDE ELEVATION
1/8" = 1'-0"



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LICENSED PROFESSIONAL ARCHITECT
No. 6437
HAWAII, HAWAII 96714
PH: (808) 675-1911
www.rossarchitects.com

GENTRY KALAELOA, LLC

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KAUULU BY GENTRY • CPR SET
PLAN 2 - DETACHED SINGLE FAMILY

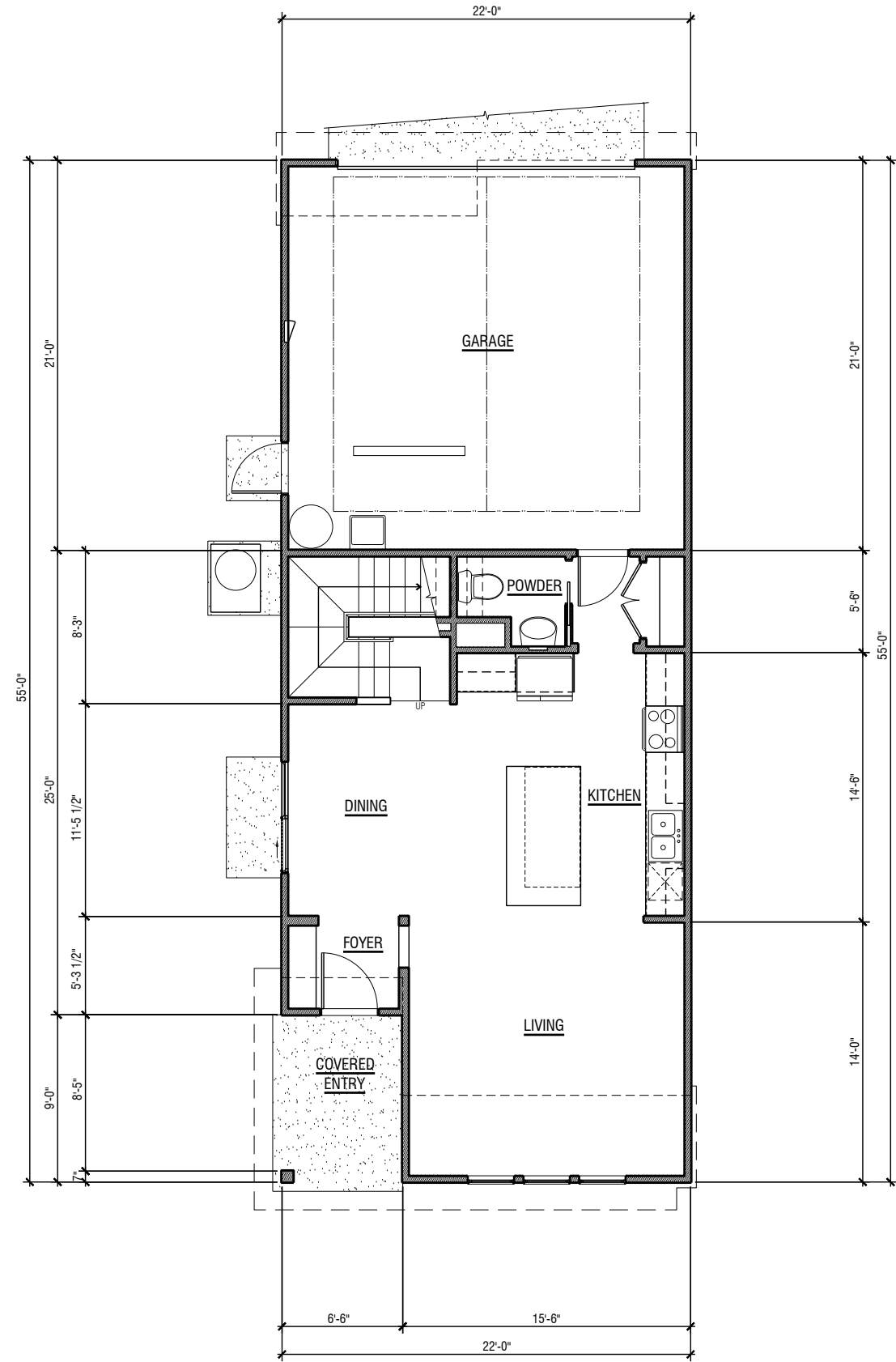
EXTERIOR ELEVATIONS

NO.	DATE	DESCRIPTION

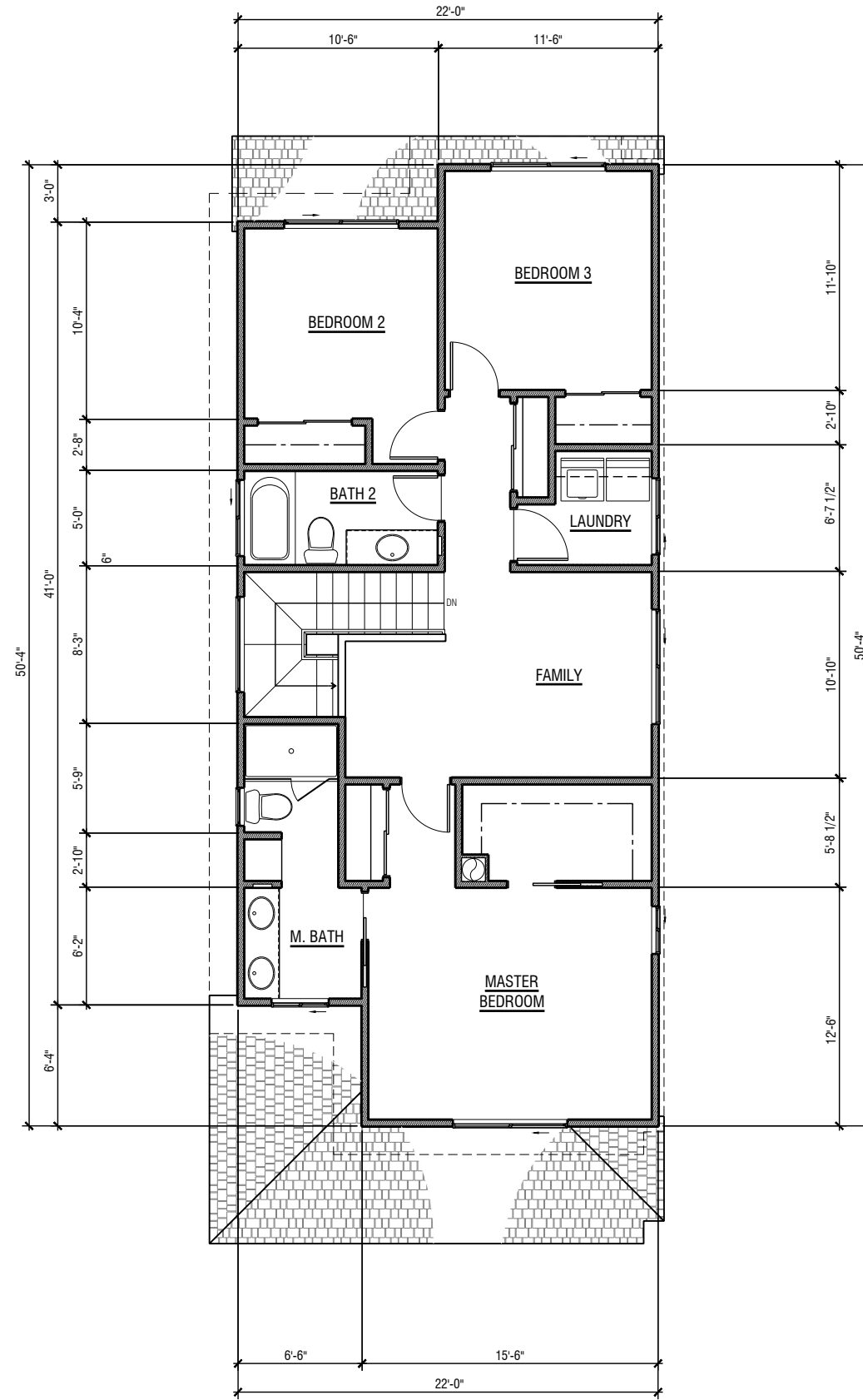
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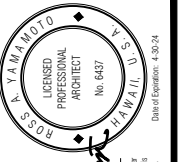
4 OF 6 SHEETS



FIRST FLOOR PLAN
1/8" = 1'-0"



SECOND FLOOR PLAN
1/8" = 1'-0"



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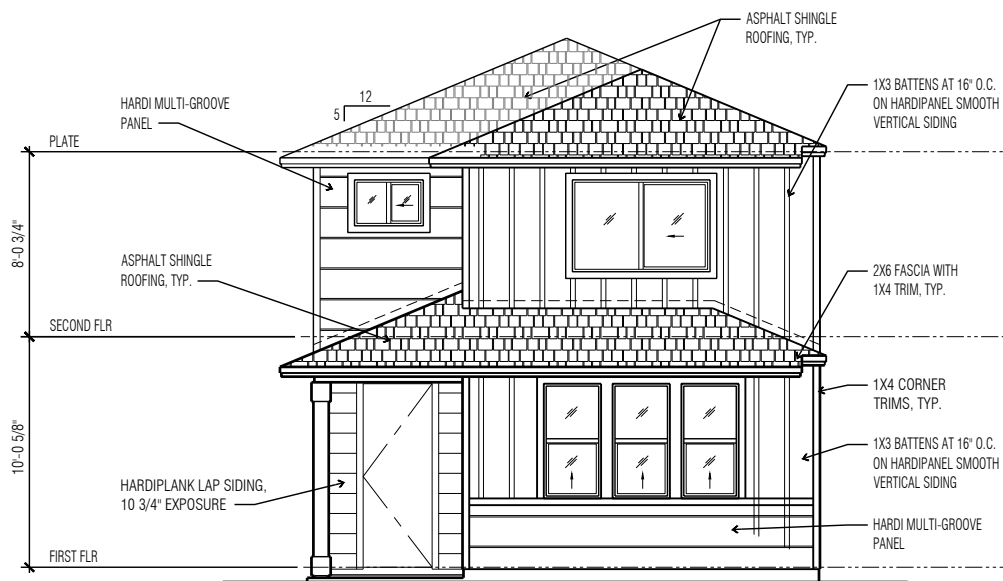


KA'ULU BY GENTRY • CPR SET
PLAN 3 - DETACHED SINGLE FAMILY

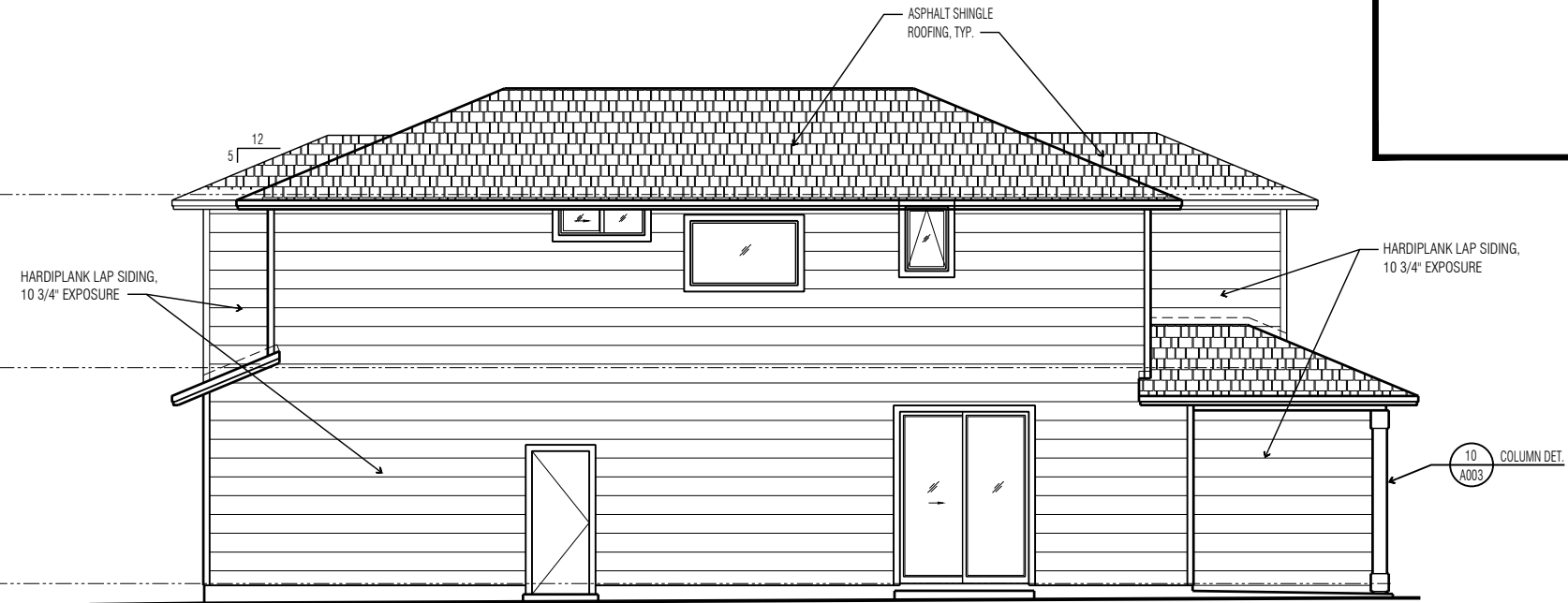
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DATE: 2/17/23

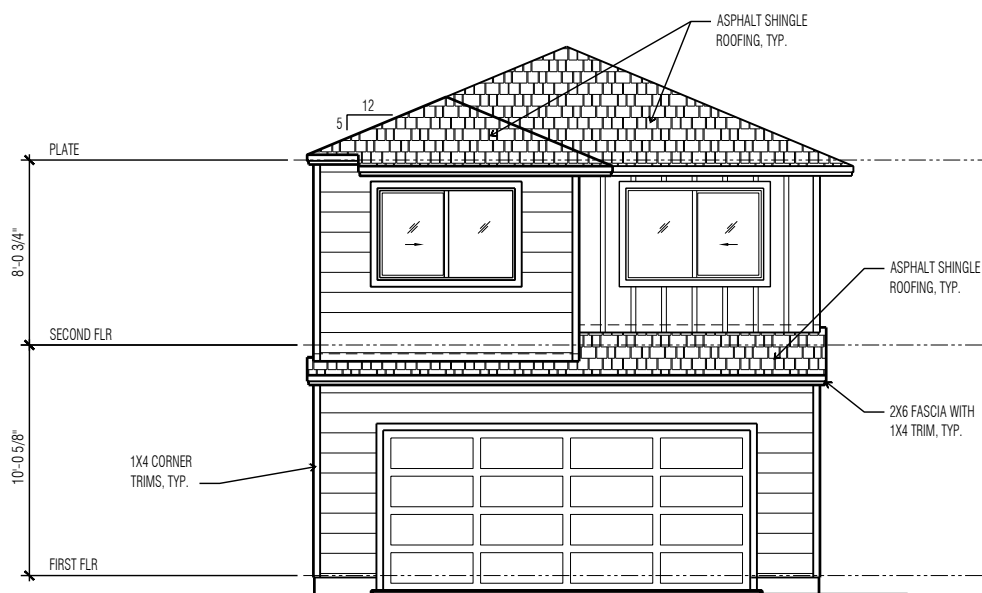
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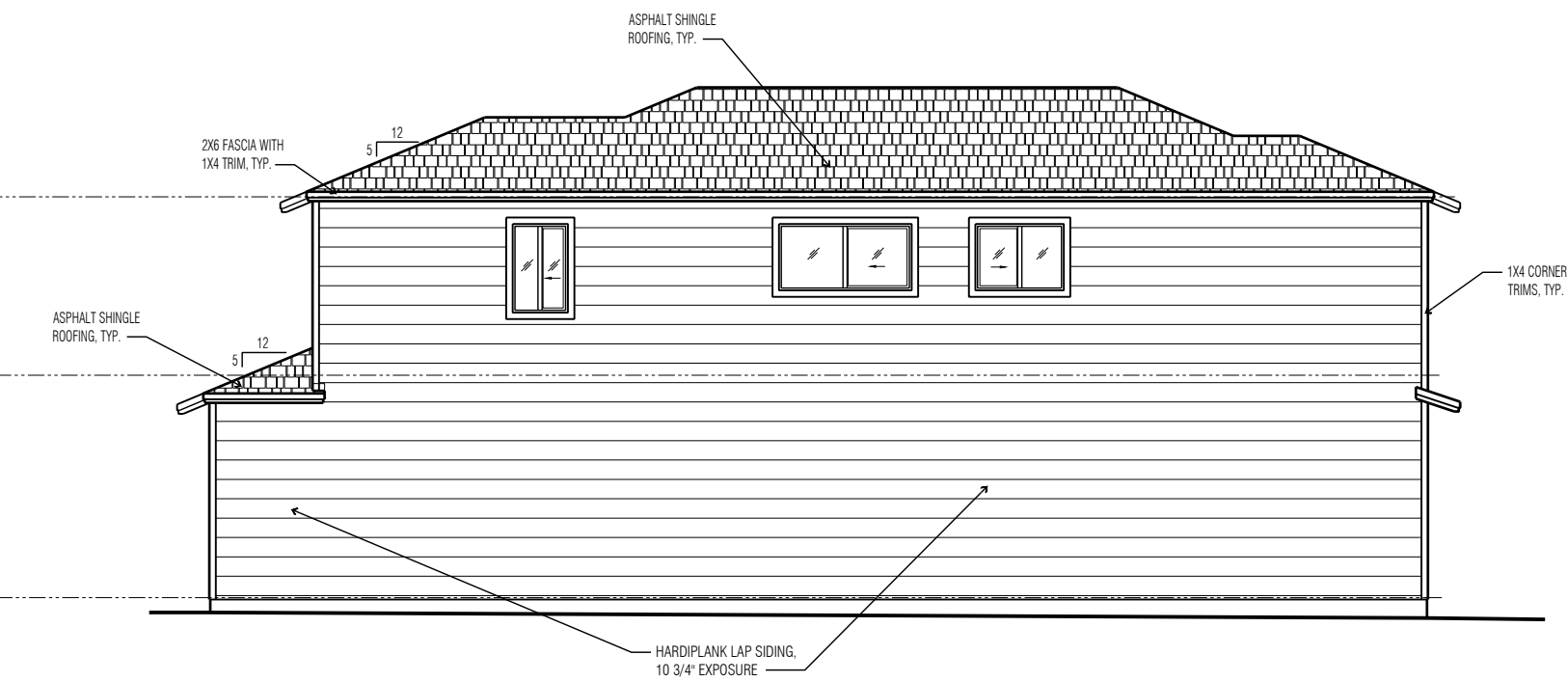
FRONT ELEVATION
1/8" = 1'-0"



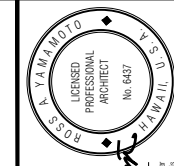
LEFT SIDE ELEVATION
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REAR ELEVATION
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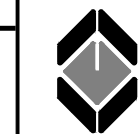
RIGHT SIDE ELEVATION
1/8" = 1'-0"



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1188 KALANANAKU DRIVE
HONOLULU, HAWAII 96813
PH: 808-951-1911

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KAUULU BY GENTRY • CPR SET
PLAN 3 - DETACHED SINGLE FAMILY

EXTERIOR ELEVATIONS

NO.	DATE	DESCRIPTION

DRAWN BY: _____
DATE: 2/17/23

SHEET NUMBER

SF-6

6 OF 6 SHEETS



KA'ULU BY GENTRY
CONDOMINIUM PROPERTY REGIME
GENTRY KALAELO, LLC
91-1101 Franklin D. Roosevelt Avenue,
HONOLULU, HAWAII

DRAWN BY: MB, MM, OH
CHECKED BY: DW, DR
PROJECT NO: 2019010.20
ISSUE DATE: 05/31/2022
REVISIONS:

CHAPTER: CRAFTSMAN
SHEET TITLE:

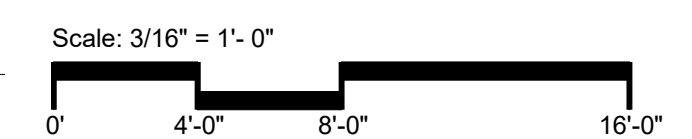
1st Floor Craftsman

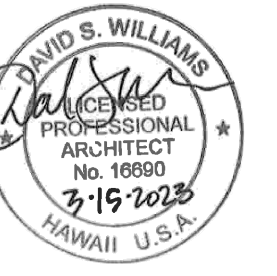
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MF8-1



Drawing: C:\Users\mmoswell\Documents\2019010.20_Gentry_CRF_Craftsman1stFloor.dwg
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CONDOMINIUM PROPERTY REGIME
GENTRY KALAELOA, LLC
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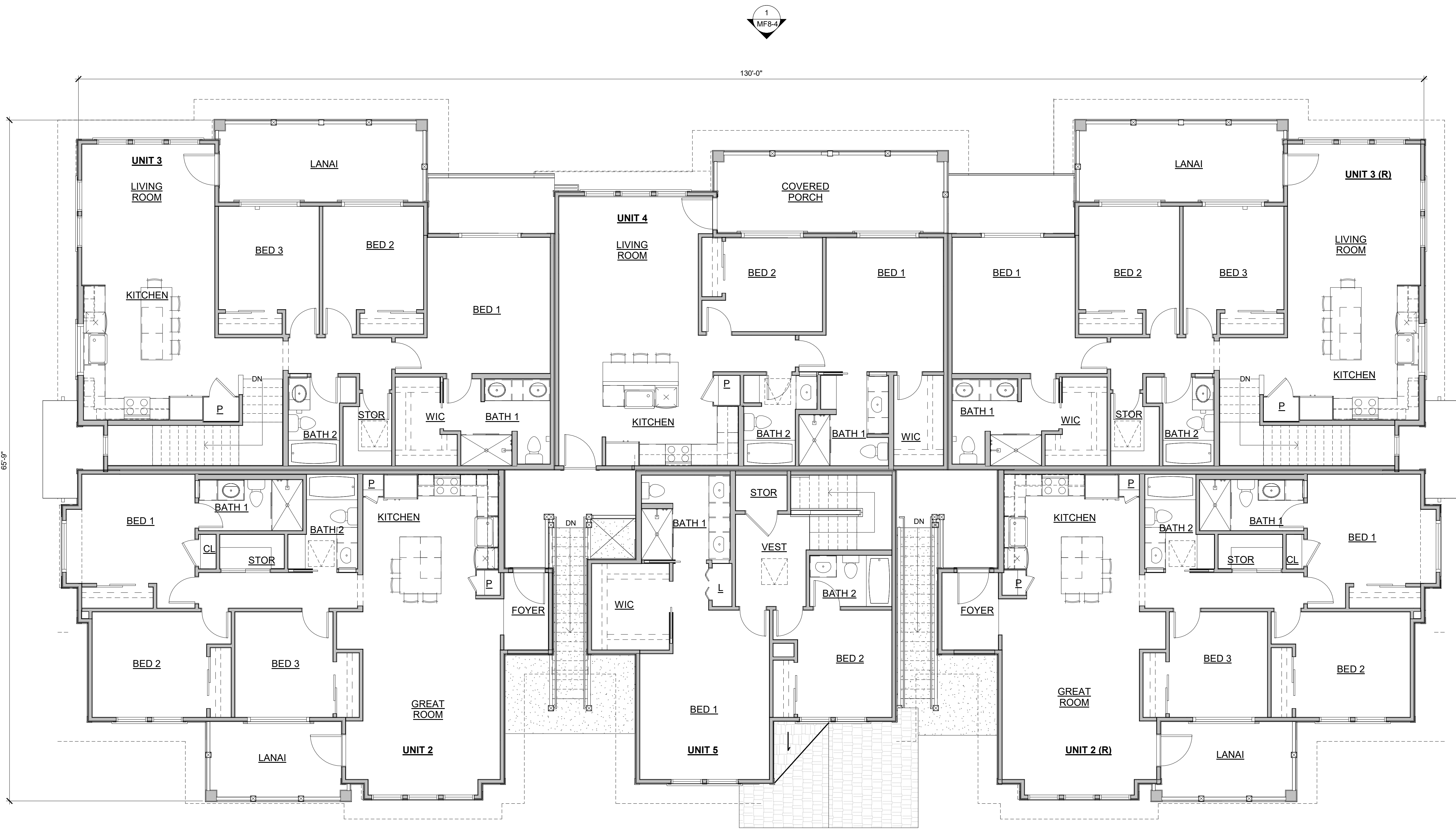
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CHECKED BY: DW, DR
PROJECT NO: 2019010.20
ISSUE DATE: 05/31/2022
REVISIONS:

CHAPTER: **CRAFTSMAN**
SHEET TITLE:

2nd Floor Craftsman

SHEET NUMBER:

MF8-2



1
MF8-4

130'-0"

2
MF8-3

2
MF8-4

1
MF8-3

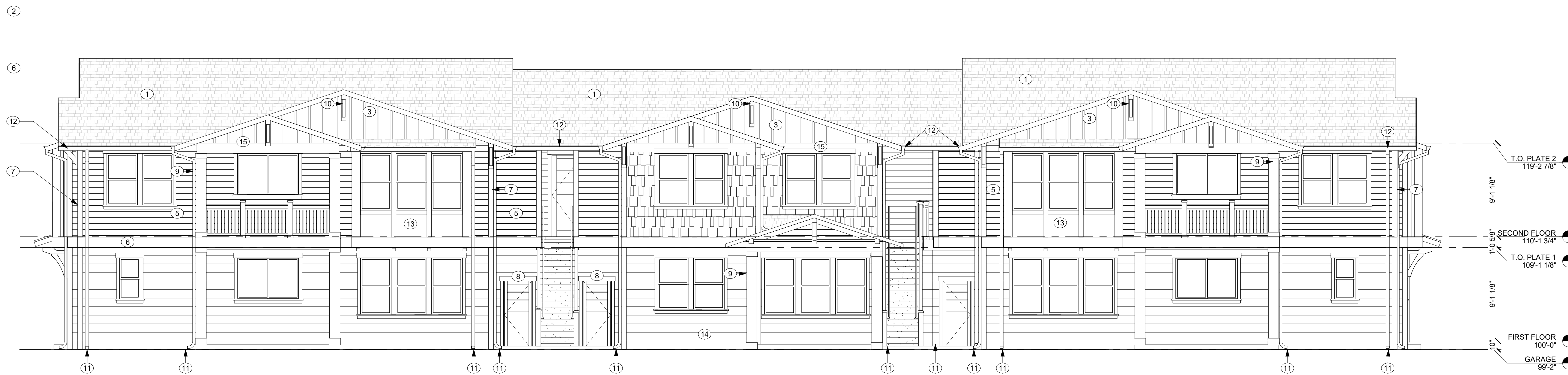
1
MF8-2
8-PLEX - CR - 2ND FLOOR
SCALE: 3/16" = 1'-0"



Drawing: C:\Users\mmw\Documents\2019010_20_Gentry_CRF_Craftsman2ndFL.dwg
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2 8-PLEX - CR - LEFT ELEVATION
 MF8-3 SCALE: 3/16" = 1'-0"



1 8-PLEX - CR - FRONT ELEVATION
 MF8-3 SCALE: 3/16" = 1'-0"

ELEVATION NOTES

- ELEVATION DRAWINGS DEPICT DESIGN INTENT ONLY. SEE STRUCTURAL DRAWINGS FOR FOUNDATION AND FRAMING SPECIFICATIONS.
- GRADE LINES INDICATED ARE APPROXIMATE. BUILDER TO COORDINATE SITE SPECIFIC GRADING AT EACH LOT. PROVIDE POSITIVE SLOPE GRADING AWAY FROM STRUCTURE AT EACH LOT.
- REFER TO ROOF PLANS FOR ROOFING MATERIAL, SLOPE AND BEARING INFO.
- TYPICAL WINDOW HEAD HEIGHT TO BE AS FOLLOWS. REFER TO ELEVATIONS FOR NON-TYPICAL CONDITIONS:
 FIRST FLOOR: 8'-1" A.F.F.
 SECOND FLOOR: 8'-1" A.F.F.
- ALL MANUFACTURED TRIM AND SIDING MATERIALS SHALL BE PAINTED.
- ALL EXPOSED WOOD POSTS, BEAMS, AND TRIM SHALL BE PAINTED PER FINISH SPECIFICATIONS.
- GUTTERS AND DOWNSPOUTS SHALL BE INSTALLED AT ALL ROOF DRAINAGE CONDITIONS. COORDINATE LOCATIONS w/ BUILDER.
- 2X6 TREATED FASCIA PNT, TYP

ELEVATION KEYNOTES

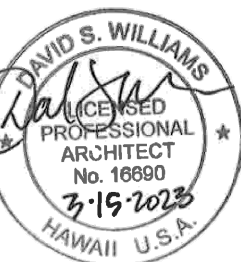
- | | |
|----|--------------------------------------|
| 1 | ASPHALT SHINGLE |
| 2 | 6X6 WOOD POST |
| 3 | BOARD & BATTEN SIDING |
| 4 | SHAKE SIDING |
| 5 | HORIZONTAL LAP SIDING - 7" EXPOSURE |
| 6 | 5/4X12 TRIM, PNT |
| 7 | 5/4X6 TRIM, TYP, PNT |
| 8 | ENTRY DOOR, PER BUILDER SPEC. |
| 9 | COLUMN WRAP, PNT TO MATCH TRIM |
| 10 | DECORATIVE BRACKET |
| 11 | DOWNSPOUT |
| 12 | GUTTER |
| 13 | BAY WINDOW FLAT PANEL TRIM, PNT |
| 14 | HORIZONTAL LAP SIDING - 10" EXPOSURE |
| 15 | 5/4X10 TRIM, PNT |



ARCHITECTURE
 PLANNING
 LANDSCAPE
 ARCHITECTURE

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 Boulder, Colorado 80303
 T 303.443.7533

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 GENTRY KALAELOA, LLC
 91-1101 Franklin D. Roosevelt Avenue,
 HONOLULU, HAWAII

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 CHECKED BY: DW, DR
 PROJECT NO: 2019010.20
 ISSUE DATE: 05/31/2022
 REVISIONS:

CHAPTER: CRAFTSMAN

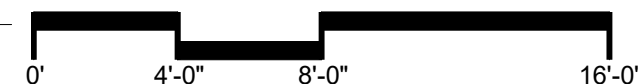
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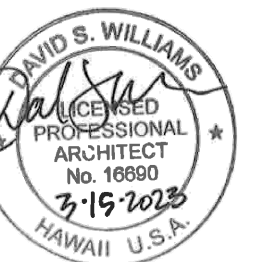
Elevation for Craftsman

SHEET NUMBER:

MF8-3

Scale: 3/16" = 1'-0"





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ELEVATION NOTES

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- GRADE LINES INDICATED ARE APPROXIMATE. BUILDER TO COORDINATE SITE SPECIFIC GRADING AT EACH LOT. PROVIDE POSITIVE SLOPE GRADING AWAY FROM STRUCTURE AT EACH LOT.
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FIRST FLOOR: 8'-1" A.F.F.
SECOND FLOOR: 8'-1" A.F.F.
- ALL MANUFACTURED TRIM AND SIDING MATERIALS SHALL BE PAINTED.
- ALL EXPOSED WOOD POSTS, BEAMS, AND TRIM SHALL BE PAINTED PER FINISH SPECIFICATIONS.
- GUTTERS AND DOWNSPOUTS SHALL BE INSTALLED AT ALL ROOF DRAINAGE CONDITIONS. COORDINATE LOCATIONS w/ BUILDER.
- 2X6 TREATED FASCIA PNT, TYP

ELEVATION KEYNOTES

- | | |
|----|--------------------------------------|
| 1 | ASPHALT SHINGLE |
| 2 | 6X6 WOOD POST |
| 3 | BOARD & BATTEN SIDING |
| 4 | SHAKE SIDING |
| 5 | HORIZONTAL LAP SIDING - 7" EXPOSURE |
| 6 | 5/4X12 TRIM, PNT |
| 7 | 5/4X6 TRIM, TYP, PNT |
| 8 | ENTRY DOOR, PER BUILDER SPEC. |
| 9 | COLUMN WRAP, PNT TO MATCH TRIM |
| 10 | DECORATIVE BRACKET |
| 11 | DOWNSPOUT |
| 12 | GUTTER |
| 13 | BAY WINDOW FLAT PANEL TRIM, PNT |
| 14 | HORIZONTAL LAP SIDING - 10" EXPOSURE |
| 15 | 5/4X10 TRIM, PNT |



2 8-PLEX - CR - RIGHT ELEVATION
MF8-4 SCALE: 3/16" = 1'-0"



1 8-PLEX - CR - REAR ELEVATION
MF8-4 SCALE: 3/16" = 1'-0"



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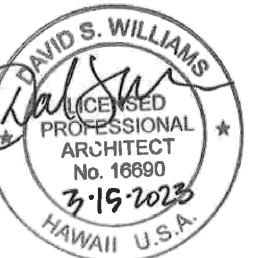
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CHAPTER: CRAFTSMAN
SHEET TITLE:

Elevation for Craftsman

SHEET NUMBER:

MF8-4



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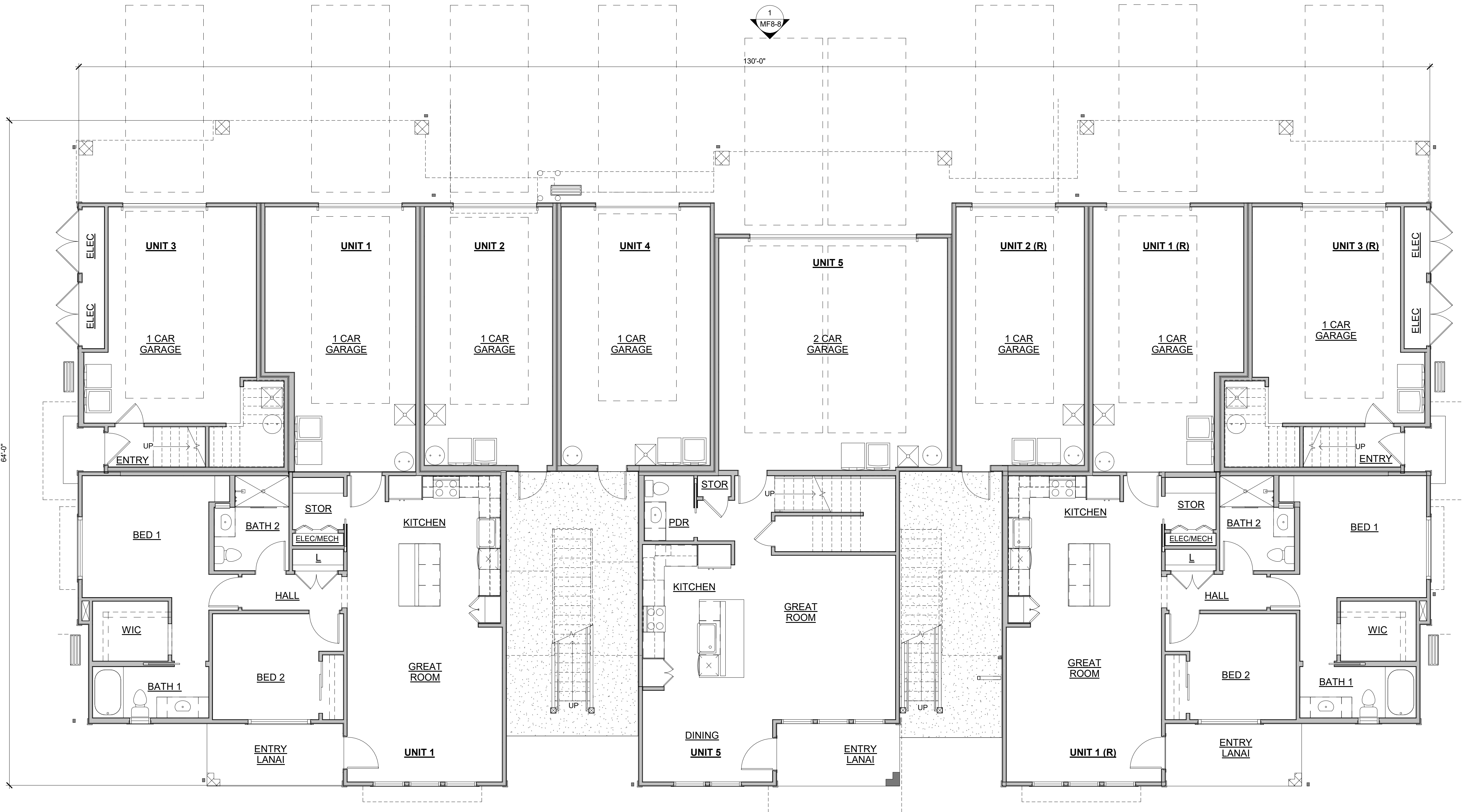
CHAPTER: **PLANTATION**

SHEET TITLE:

1st Floor Plantation

SHEET NUMBER:

MF8-5



1 MF8-8

130'-0"

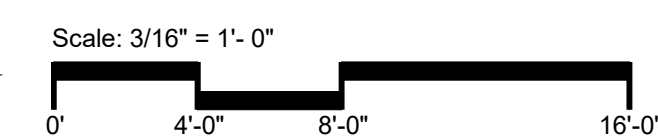
2 MF8-7

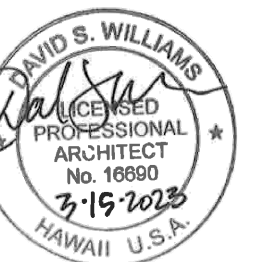
2 MF8-8

1 MF8-7

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1 MF8-5
8-PLEX - PL - 1ST FLOOR
SCALE: 3/16" = 1'-0"





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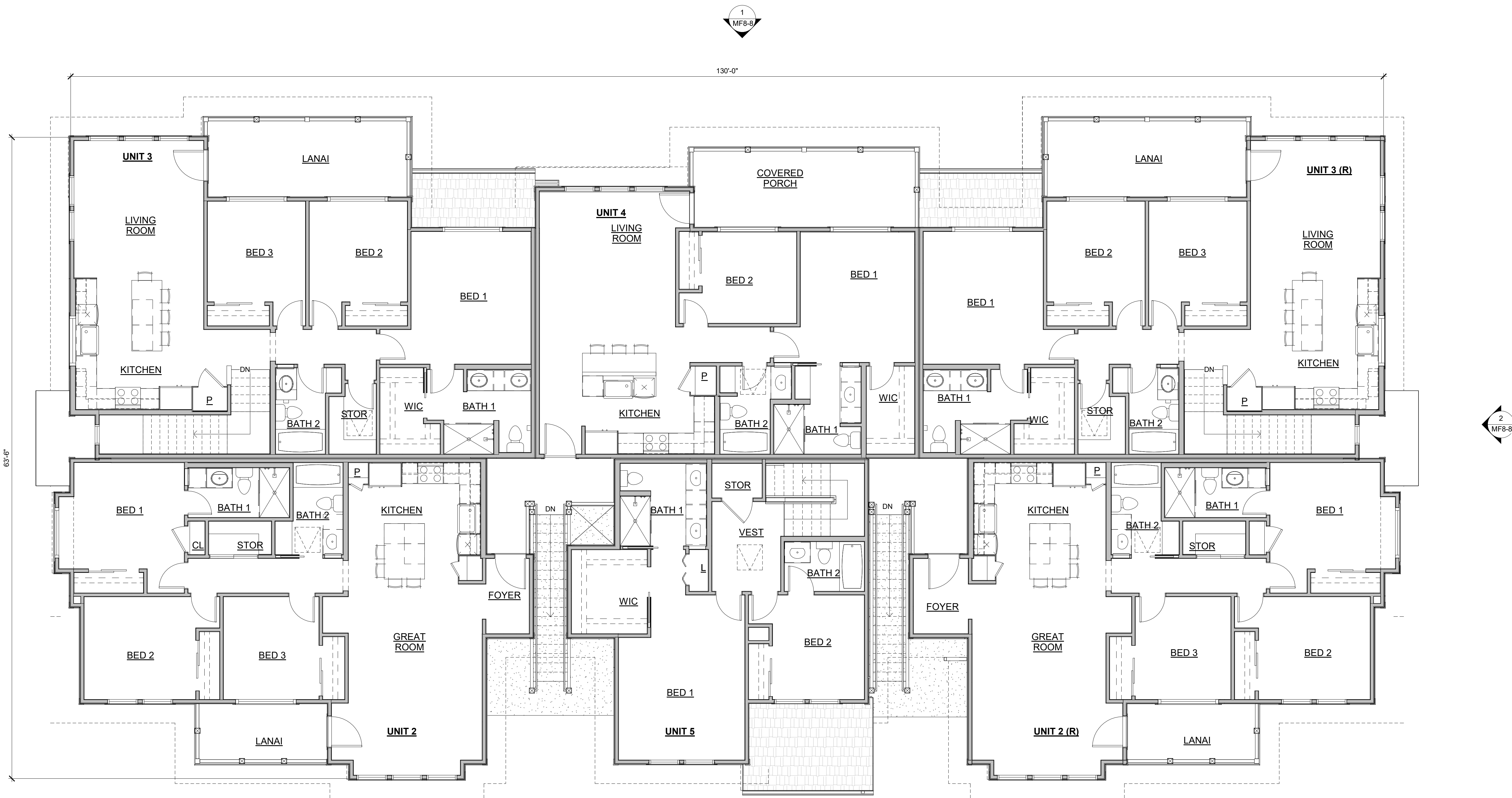
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PROJECT NO: 2019010.20
ISSUE DATE: 05/31/2022
REVISIONS:

CHAPTER: **PLANTATION**
SHEET TITLE:

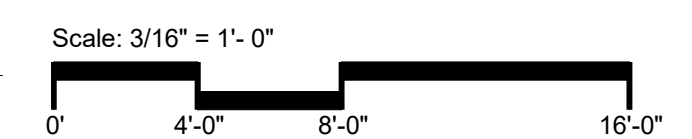
2nd Floor Plantation

SHEET NUMBER:

MF8-6



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2 8-PLEX - PL - LEFT ELEVATION
 MF8-7 SCALE: 3/16" = 1'-0"



1 8-PLEX - PL - FRONT ELEVATION
 MF8-7 SCALE: 3/16" = 1'-0"

ELEVATION NOTES

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- 8 2X6 TREATED FASCIA PNT, TYP

ELEVATION KEYNOTES

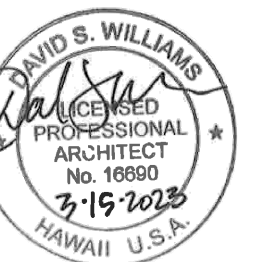
1	ASPHALT SHINGLE
2	6X6 WOOD POST
3	BOARD & BATTEN SIDING
4	SHAKE SIDING
5	HORIZONTAL LAP SIDING - 7" EXPOSURE
6	5/4X12 TRIM, PNT
7	5/4X6 TRIM, TYP. PNT
8	ENTRY DOOR, PER BUILDER SPEC.
9	COLUMN WRAP, PNT TO MATCH TRIM
10	DECORATIVE BRACKET
11	DOWNSPOUT
12	GUTTER
13	BAY WINDOW FLAT PANEL TRIM, PNT
14	HORIZONTAL LAP SIDING - 10" EXPOSURE
15	5/4X10 TRIM, PNT



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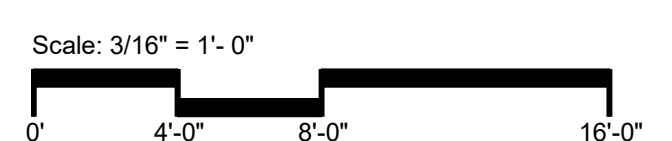
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 PROJECT NO: 2019010.20
 ISSUE DATE: 05/31/2022
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CHAPTER: PLANTATION
 SHEET TITLE:

Elevation for Plantation

SHEET NUMBER:

MF8-7



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2 8-PLEX - PL - RIGHT ELEVATION
MF8-8 SCALE: 3/16" = 1'-0"



1 8-PLEX - PL - REAR ELEVATION
MF8-8 SCALE: 3/16" = 1'-0"

ELEVATION NOTES

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- 8 2X6 TREATED FASCIA PNT, TYP

ELEVATION KEYNOTES

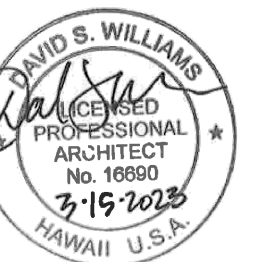
- | | |
|----|--------------------------------------|
| 1 | ASPHALT SHINGLE |
| 2 | 6X6 WOOD POST |
| 3 | BOARD & BATTEN SIDING |
| 4 | SHAKE SIDING |
| 5 | HORIZONTAL LAP SIDING - 7" EXPOSURE |
| 6 | 5/4X12 TRIM, PNT |
| 7 | 5/4X6 TRIM, TYP, PNT |
| 8 | ENTRY DOOR, PER BUILDER SPEC. |
| 9 | COLUMN WRAP, PNT TO MATCH TRIM |
| 10 | DECORATIVE BRACKET |
| 11 | DOWNSPOUT |
| 12 | GUTTER |
| 13 | BAY WINDOW FLAT PANEL TRIM, PNT |
| 14 | HORIZONTAL LAP SIDING - 10" EXPOSURE |
| 15 | 5/4X10 TRIM, PNT |



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CHAPTER: PLANTATION
SHEET TITLE:

Elevation for Plantation

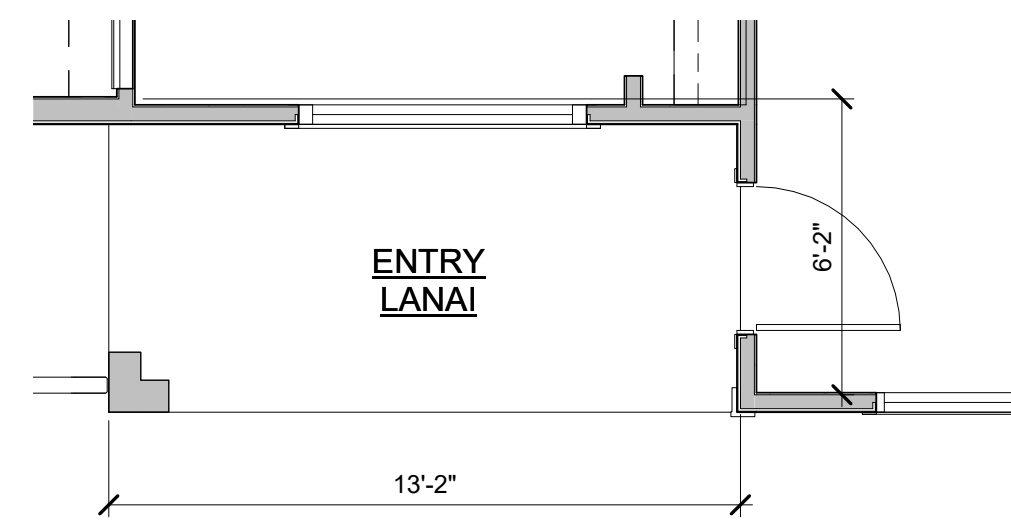
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MF8-8

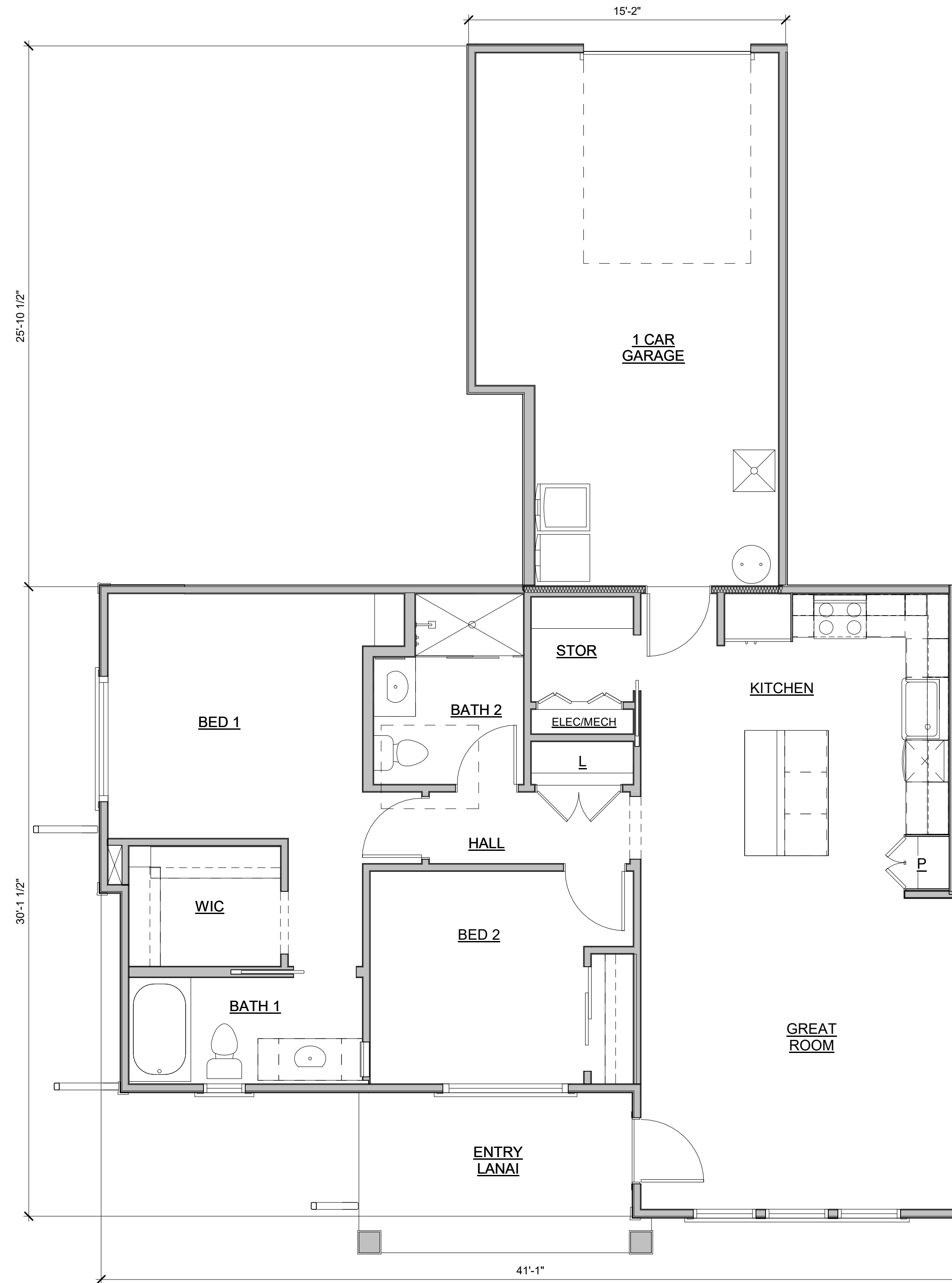


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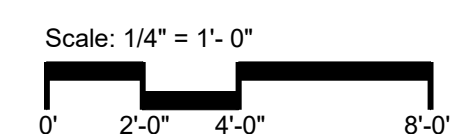
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2 8-Plex - Unit 1 - Plantation - 1st Floor
 SCALE: 1/4" = 1'-0"



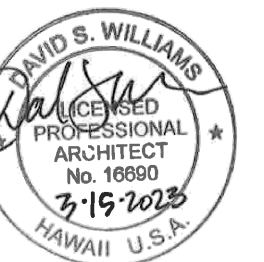
1 8-Plex - Unit 1 - Craftsman - 1st Floor
 SCALE: 1/4" = 1'-0"



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CHAPTER: UNITS

SHEET TITLE:

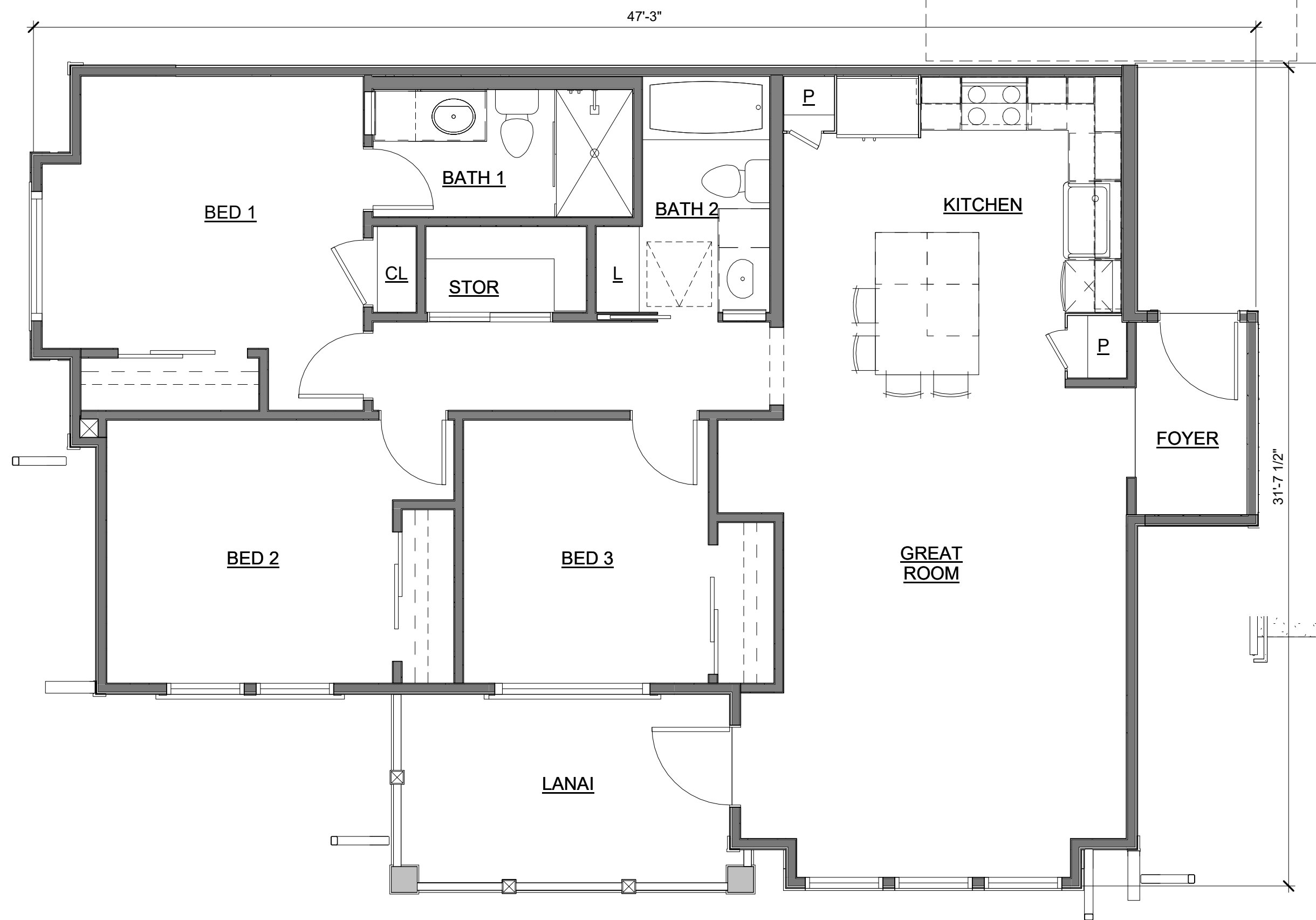
Unit 1 Plantation & Craftsman Info

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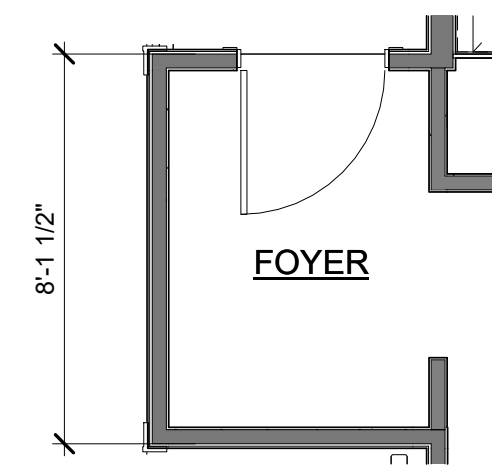
MF8-9

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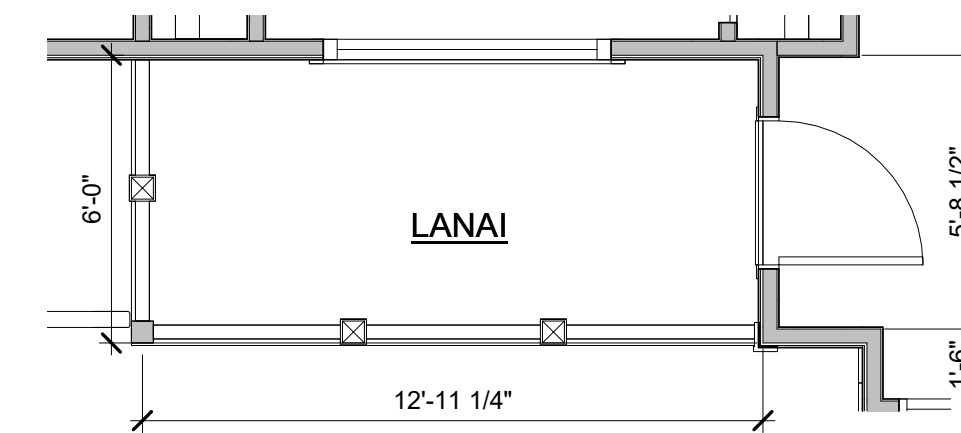
1
 MF8-10 8-Plex - Unit 2 - Craftsman - 2nd Floor
 SCALE: 1/4" = 1'-0"



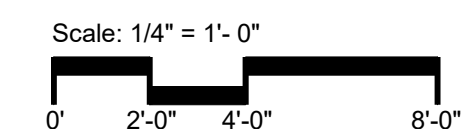
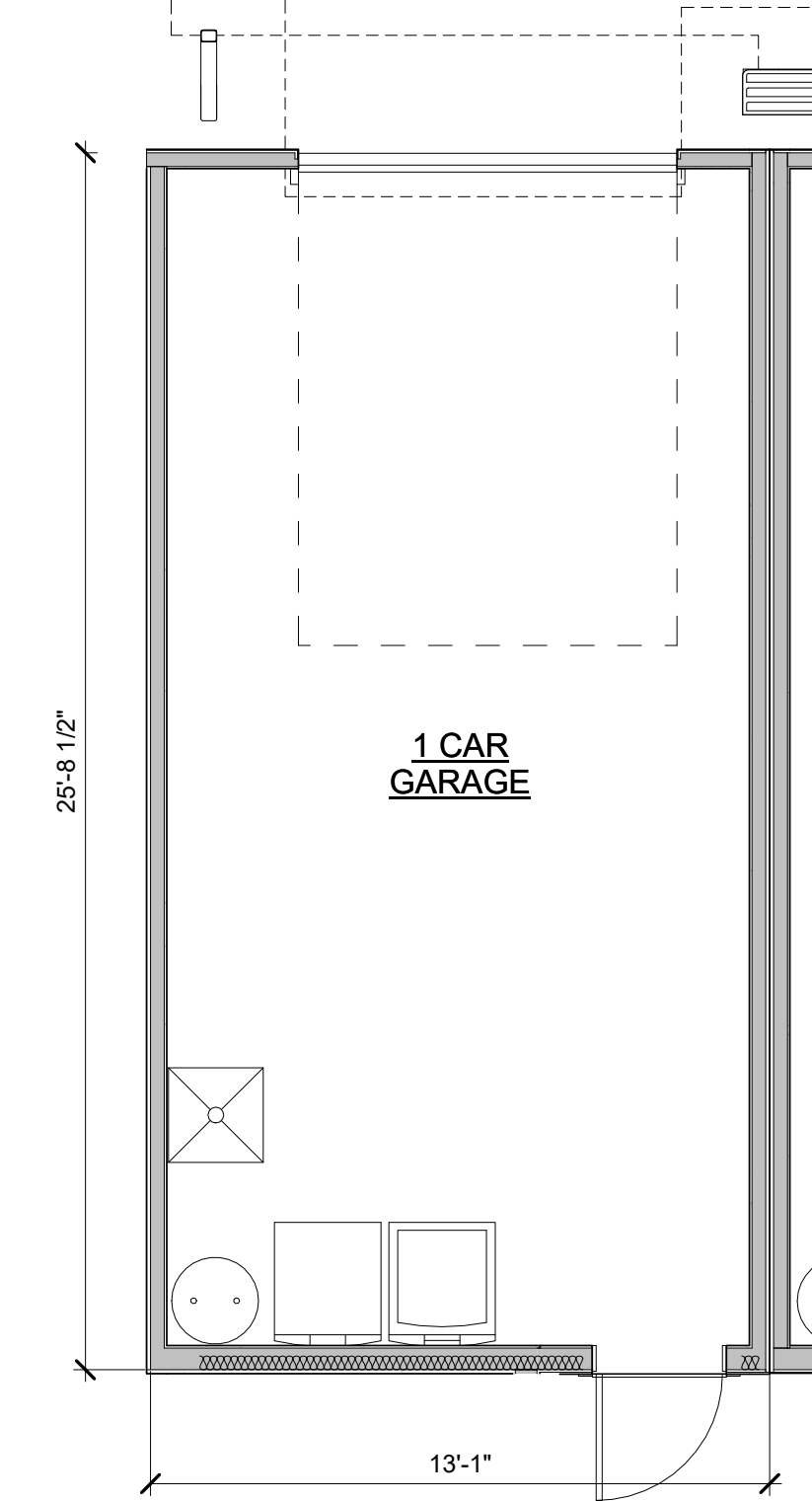
2
 MF8-10 8-Plex - Unit 2 - 1st Floor
 SCALE: 1/4" = 1'-0"



3
 MF8-10 8-Plex - Unit 2R - 2nd Floor - Enlarged Foyer
 SCALE: 1/4" = 1'-0"



4
 MF8-10 8-Plex - Unit 2 - Plantation - 2nd Floor
 SCALE: 1/4" = 1'-0"

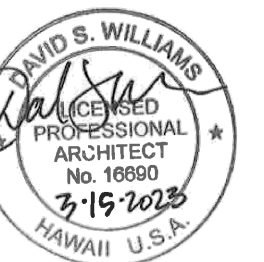


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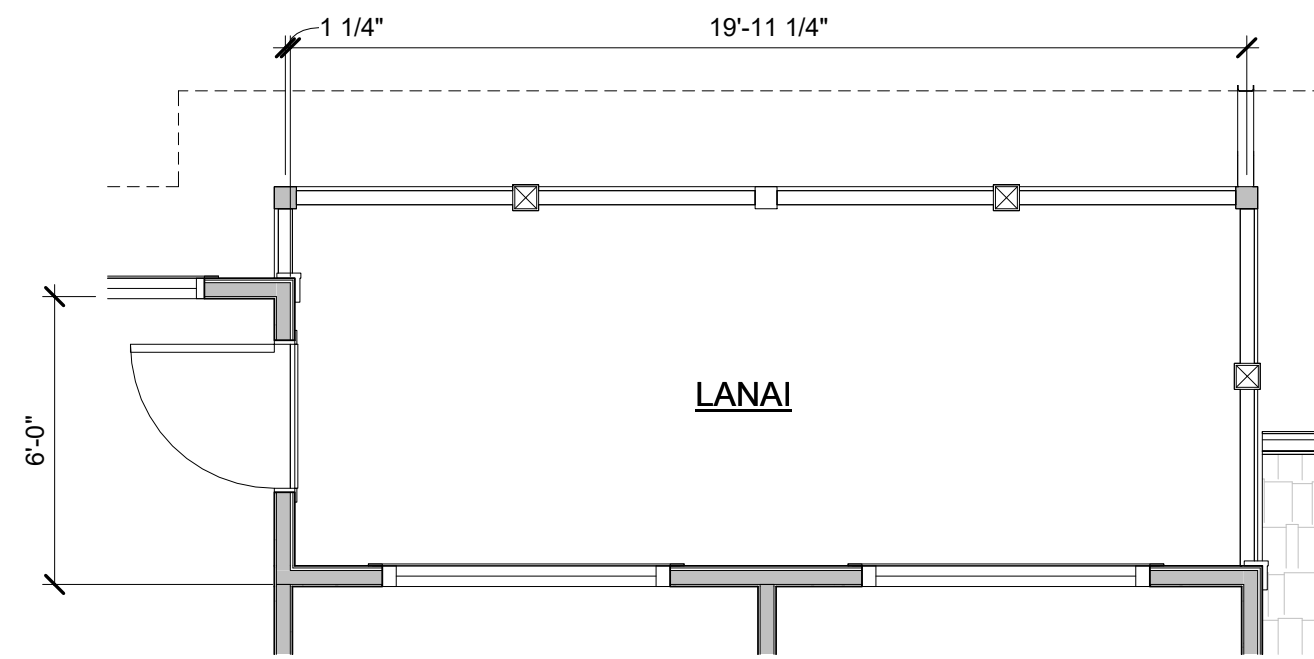
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CHAPTER: **UNITS**

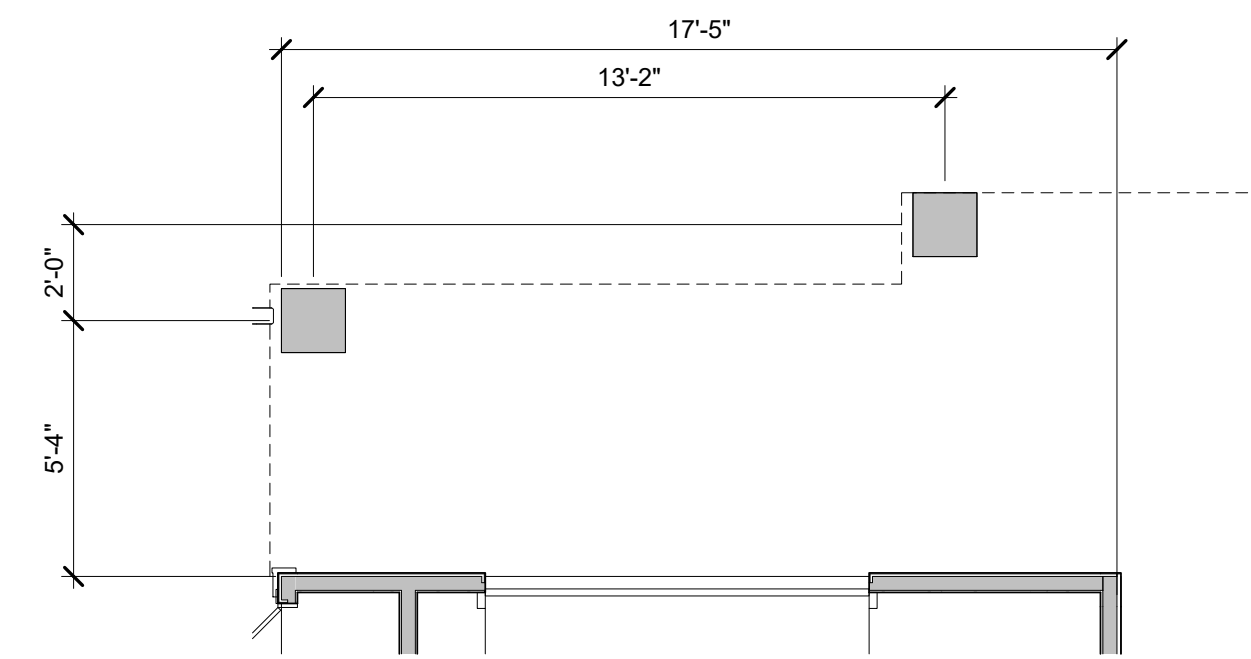
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 Unit 2 Plantation &
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SHEET NUMBER:

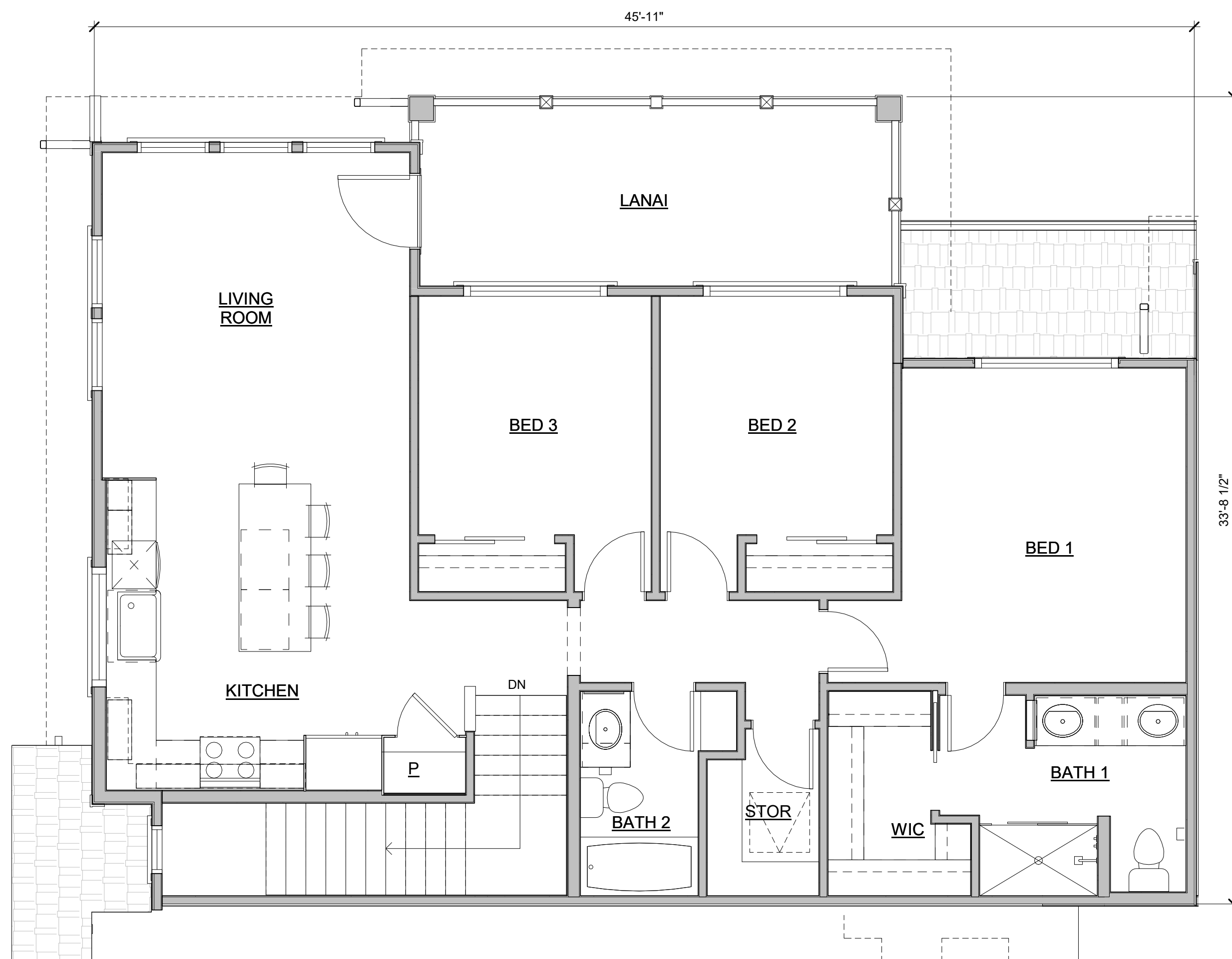
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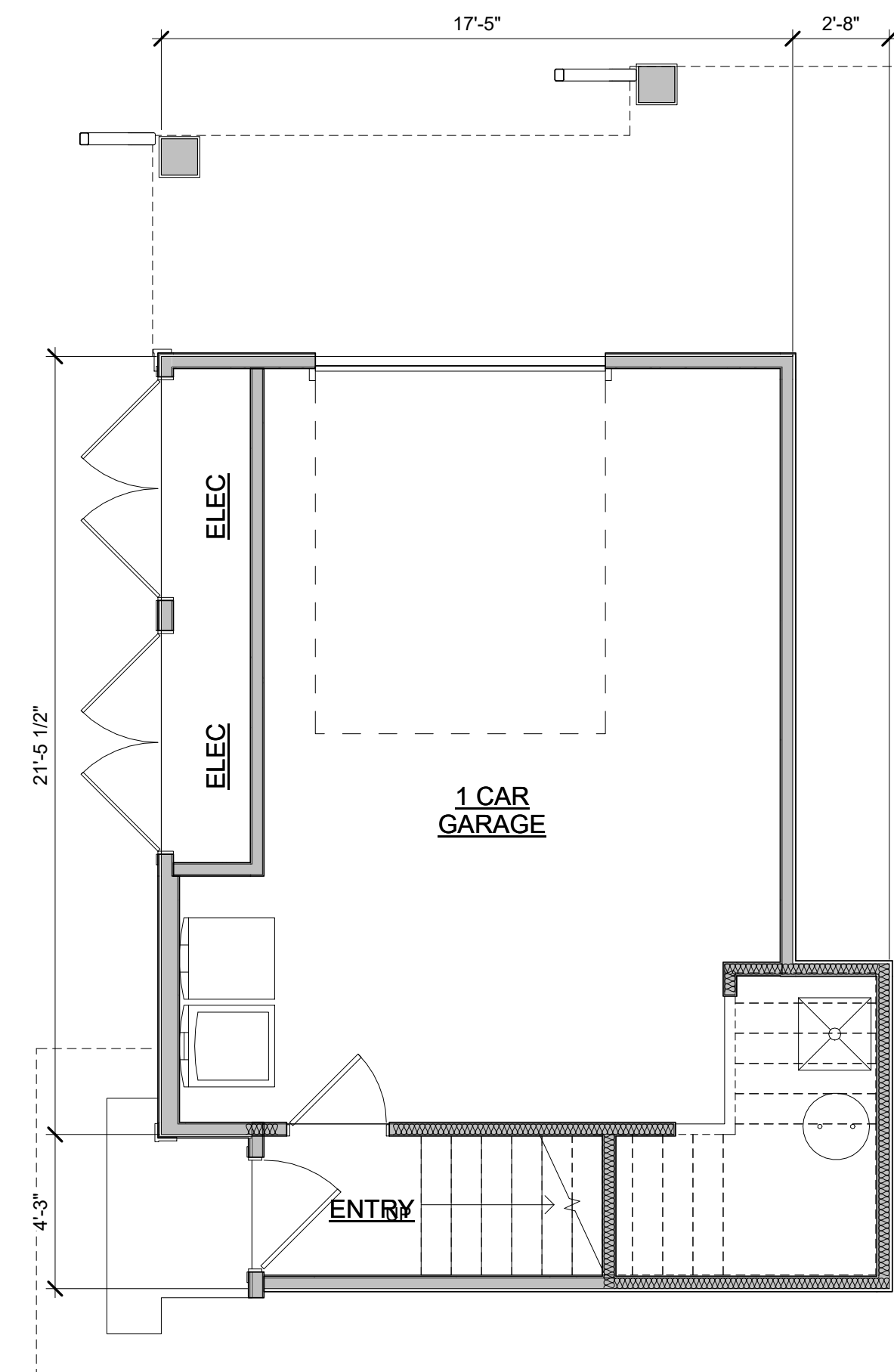
4 8-Plex - Unit 3 - Plantation - 2nd Floor
MF8-11 SCALE: 1/4" = 1'-0"



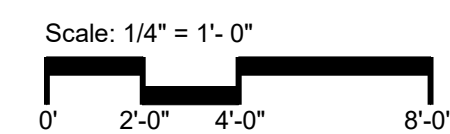
3 8-Plex - Unit 3 - Plantation - 1st Floor
MF8-11 SCALE: 1/4" = 1'-0"



2 8-Plex - Unit 3 - Craftsman - 2nd Floor
MF8-11 SCALE: 1/4" = 1'-0"



1 8-Plex - Unit 3 - Craftsman - 1st Floor
MF8-11 SCALE: 1/4" = 1'-0"



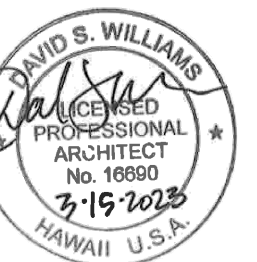
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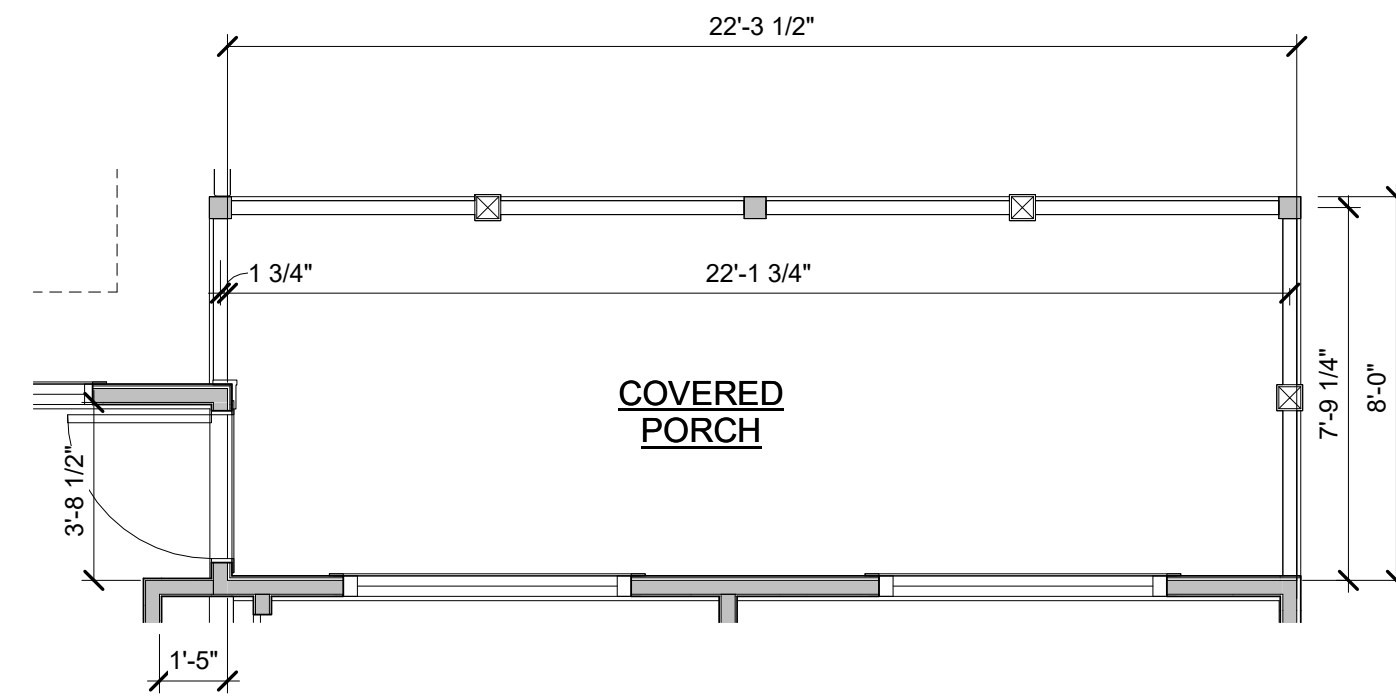
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Unit 3 Plantation and
Craftsman Info

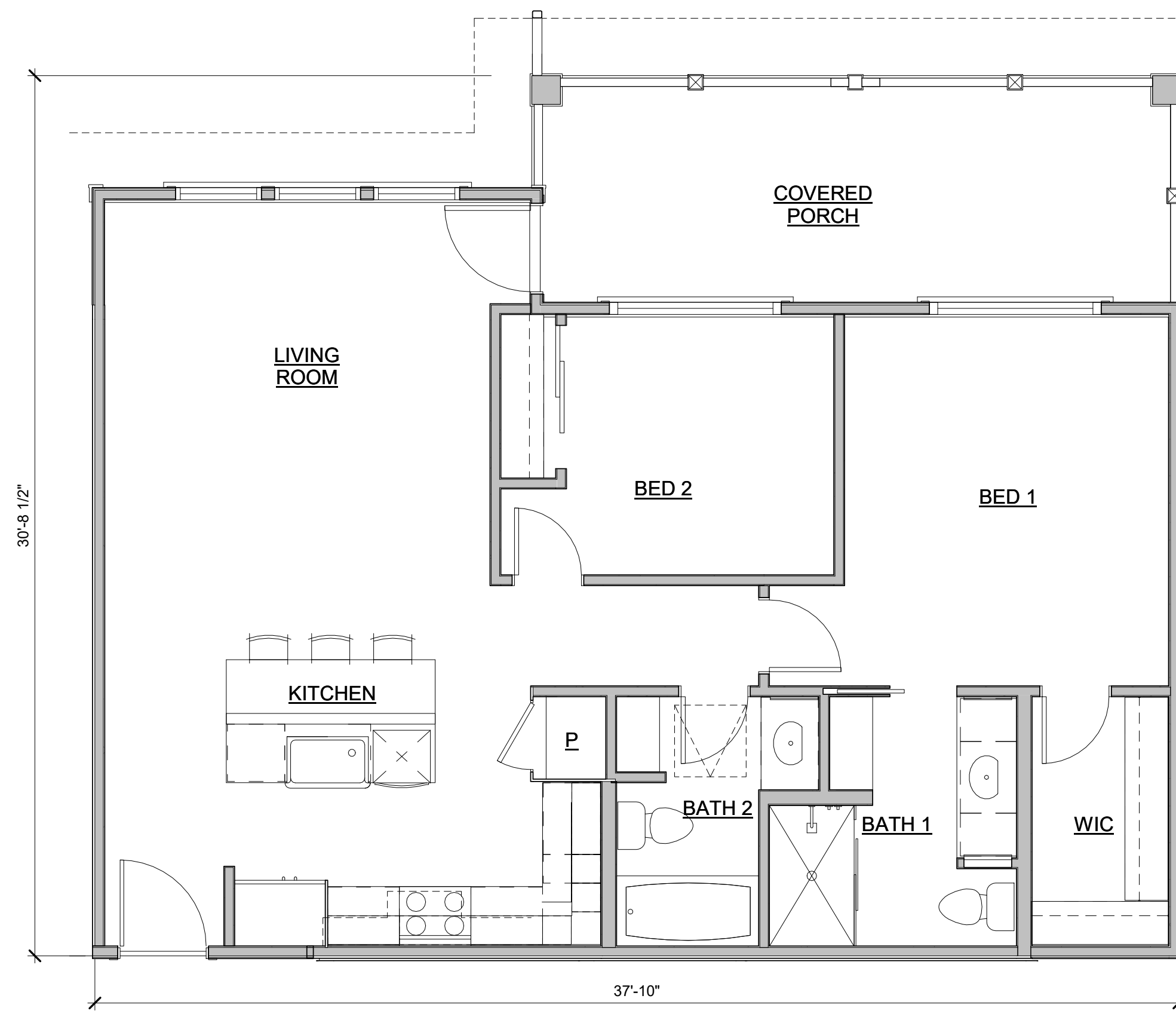
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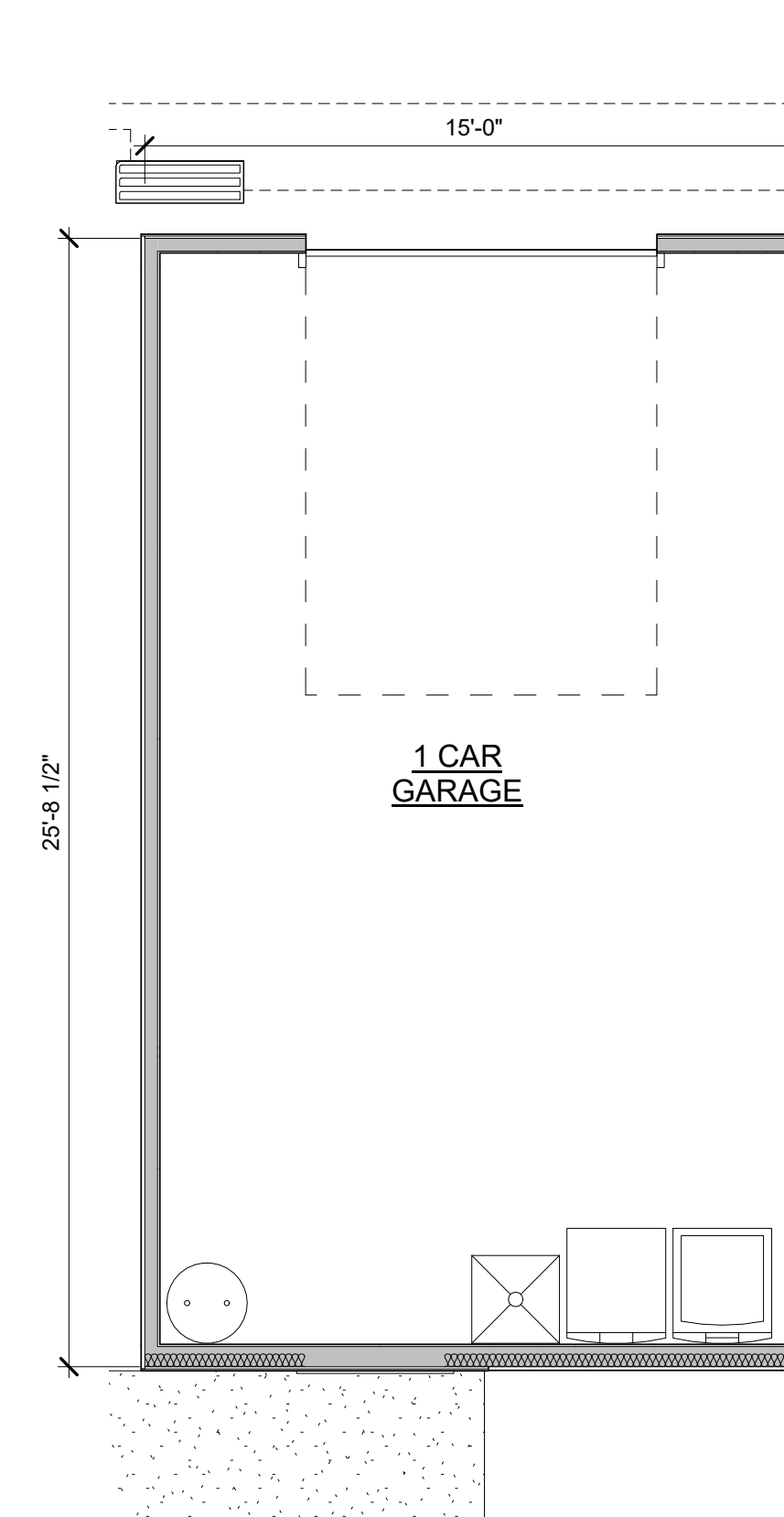
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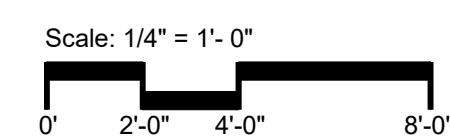
4 Unit 4 - Plantation - 2nd Floor
 MF8-12 SCALE: 1/4" = 1'-0"



1 Unit 4 - Craftsman - 2nd Floor
 MF8-12 SCALE: 1/4" = 1'-0"



2 Unit 4 - Craftsman - 1st Floor
 MF8-12 SCALE: 1/4" = 1'-0"

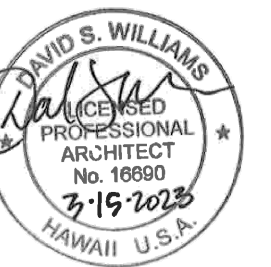


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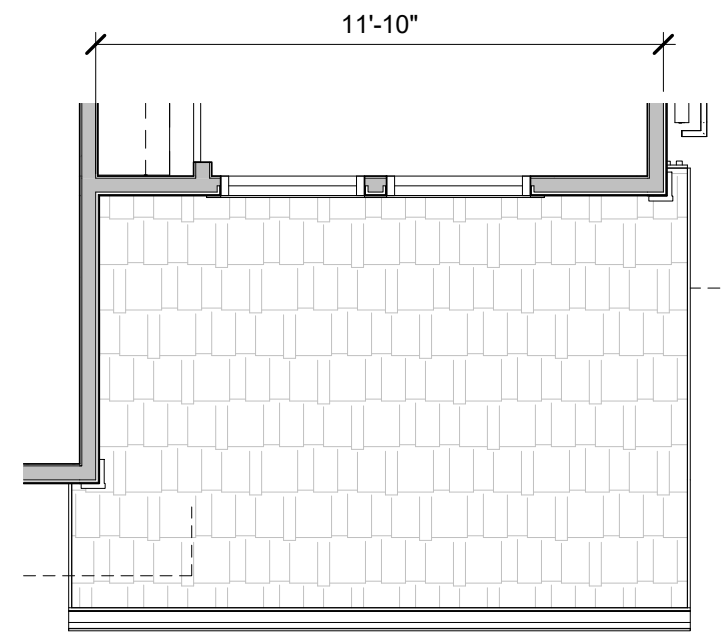
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CHAPTER: **UNITS**

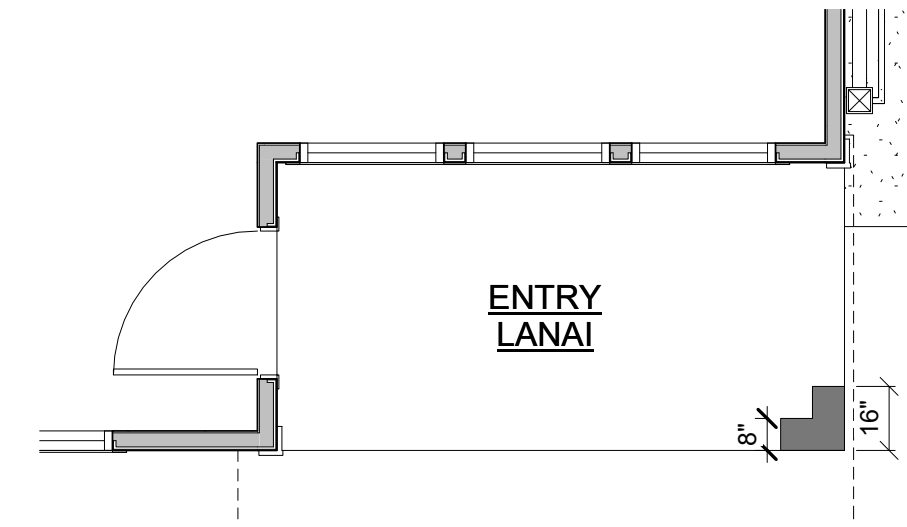
SHEET TITLE:
Unit 4 Plantation & Craftsman Info

SHEET NUMBER:

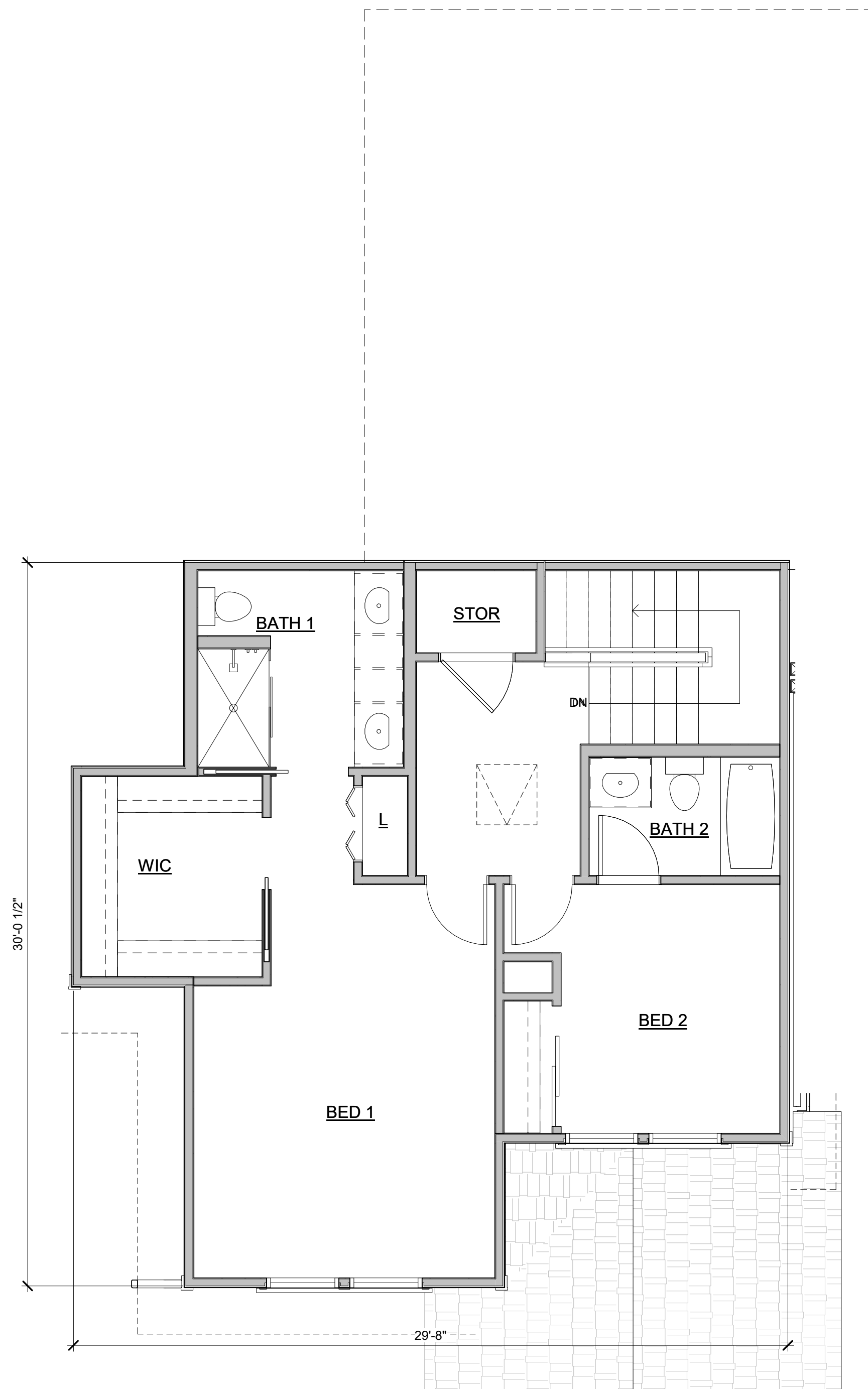
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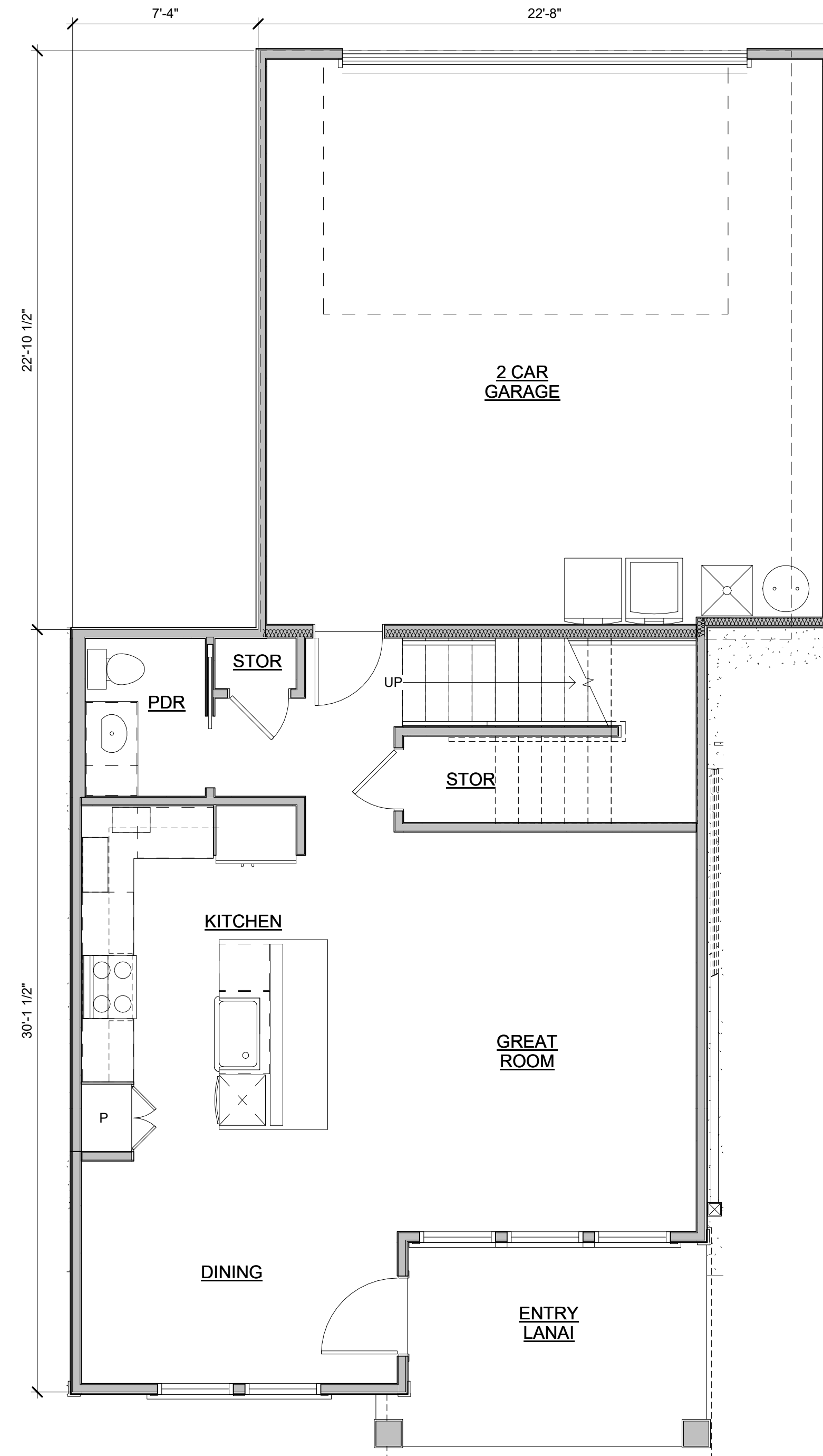
4 Unit 5 - Plantation - 2nd Floor
MF8-13 SCALE: 1/4" = 1'-0"



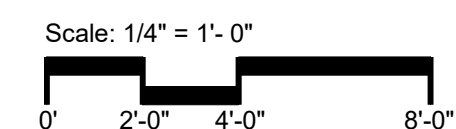
3 Unit 5 - Plantation - 1st Floor
MF8-13 SCALE: 1/4" = 1'-0"



2 Unit 5 - Craftsman - 2nd Floor
MF8-13 SCALE: 1/4" = 1'-0"



1 Unit 5 - Craftsman - 1st Floor
MF8-13 SCALE: 1/4" = 1'-0"



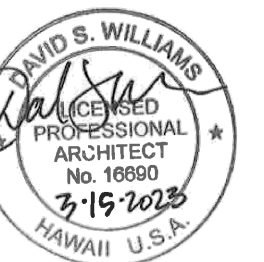
Drawing: C:\Users\mwilliams\Documents\20191010_20_Gentry_CPR_Craftsman\H22M.rvt
 User: mwilliams 11/15/2023 12:59:45 PM
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CHAPTER: UNITS

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Unit 5 Plantation &
Craftsman Info

SHEET NUMBER:

MF8-13